

**Design and Access Statement**  
**Proposed Care Home**  
**For**  
**Igloo Care LTD and EQ Care East Grinstead**

**Highfields, West Hill, East Grinstead, RH194DL**

**November 2024**

**AP24022**

Prepared by

**A P Architecture Ltd**

# Contents

## 1. Introduction.

- 1.1 Purpose and requirements of the document
- 1.2 Summary of design brief

## 2. The site.

- 2.1 The Site location
- 2.2 Site context
- 2.3 Design Development Brief
- 2.4 Development Opportunity
- 2.5 Design Considerations
- 2.6 Landscaping Scheme
- 2.7 Access

## 3. Design Proposal

- 3.1 The Brief— Proposed use
- 3.2 Design Layout
- 3.3 Access
- 3.4 Scale of Development
- 3.5 Plans
- 3.6 Appearance & Materials
- 3.7 Refuse & Recycling

## 4. Conclusion

HIGHFIELD, WEST HILL, EAST GRINSTEAD, WEST SUSSEX, RH19 4DL

UPRN: 200002898088

HMLR Title No: WSX256746



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0m 25m 50m 75m 100m 125m

# 1. Introduction

## 1.1 Purpose and requirements of the document

This design and access statement has been prepared for Zephyr X by AP Architecture Ltd to support a planning application, for the re-development of the property known as Highfields, as a new 78 bed care home, and 7No additional care units, together with associated access, parking and landscaping.

The proposal seeks to develop a quality care home, on the site of Highfields, West Hill, East Grinstead.

This statement seeks to address the requirements for a design and access statements set out in the Town and Country Planning (General Development Procedure) (Amendment) (England) Order 2006. It also accords with the guidance contained in DCLG Circular 01/2006 and CABE Guidance in June 2006, as demonstrated within the original documentation.

The purpose of this document is to summarise the proposals and demonstrate how the proposed layout has been developed, taking into account the existing site factors, Statutory obligations, Planning Policy Guidance and professional consultant advice.

The scheme proposal comprises of a high quality 78 bed care home, and associated facilities.

The proposed care home will not only provide the additional accommodation required to meet the current local need, but will also provide significant local employment, within the Burntwood Area.

## 1.2 Summary of Design Brief

Our design brief was to develop a modern care home to exceed current standards, and provide an appropriate environment within which quality care can be delivered for the residents of the home, within smaller 'houses' who may or may not require nursing care.



# 2.The Site

## 2.1 The Site Location

Highfields, on West Hill which is located in East Grinstead, a short distance from the town centre, and the extensive facilities and services.

The site lies within the confines of the built up boundary of East Grinstead.

The East Grinstead Railway Station is located approximately 600 meters from the site.

The closest bus stop is approximately 400m from the site

The site falls to the North West, and is largely laid to a well kept lawn, with a dense tree lining to the boundaries of the site.

The extensive tree lining around the site restricts any views of the proposed development from outside the site.



# 2.The Site

## 2.2 Site Context

The site is ideally situated, being located on West Hill which provides easy access to the surrounding area.

Views of the existing site



# 2.The Site

## 2.2 Site Context and Surrounding Buildings

The surrounding area is developed with a mixture of both residential and commercial properties of different types, both in scale and form, which all add to the diverse street scenes which can be found, in the area.



# 2. The Site

## 2.3 Design Development Brief

The site is currently a large residential property, sitting within a rectangular plot of approximately 1.2 hectares.

The site boundaries are well defined by dense trees and vegetation, which significantly reduce the sites visibility to neighbouring properties. The site lies within the confines of the built up boundary of East Grinstead.

The design brief was to develop the site with a modern dementia care home, and 7No additional care units which are to be built to exceed current standards, and provide an appropriate environment within which quality care can be delivered for the residents of the home, who may or may not require nursing care, whilst ensuring they have access to all facilities you can expect to find within such a purpose built home.

The home will consist of 6 Houses which will be self contained, allowing for a more personal care package to be delivered for each client, who will be living within an appropriate environment.

The assisted living apartments will provide a more independent living facility where support can be provided as required.

## 2.4 Development Opportunity

The site comprises an area of land of approximately 12,323m<sup>2</sup>.

It is located in a sustainable suburban location, within walking distance of the Town Centre which has a mixed and varied array of retailers.

The surrounding area is suburban in character, with a mix of residential and commercial properties of mixed use.

The proposed development, will clearly meet the design brief, and as a care home, and associated facilities, and make best use of this ideally located site.

## 2.5 Design Considerations

The proposed development by its nature, and intended use clearly has to achieve a critical mass, in order to be sustainable.

1. The site is within a suburban mixed use neighbourhood and the proposed development looks to respect the scale of existing buildings around the site, whilst protecting the amenity of adjacent properties.

2. The West Hill frontage has been designed to represent a 3 storey development, with a pitched roof to reflect the style found locally.

3. The proposed development looks to create a strong built frontage and create a good level of visual interest, whilst providing secure boundaries to the site.

4. The proposed development looks to promote sustainable forms of transport including access to public transport and measures to encourage walking and cycling in accordance with current policies. Vehicle access to the site has been provided from West Hill, via a new access, with the existing access being retained for pedestrian access.

5. Sustainability is part of the proposed development, from start to finish, which will ensure it will be integral to the scheme design, with building design taking a fabric-first approach that responds to site orientation.

6. The Parking requirements has been assessed by a specialist transport consultant in accordance with the WSCC Guidance on Parking at New Developments 2020.

# 2.The Site

## 2.6 Landscaping scheme

The application site has a significant number , of well established mature trees, over 100 which the proposed development looks to retain, as part of the detailed landscape scheme, which has been developed around the proposals, so as to provide an appropriate environment, for the enjoyment of the residents of the care home, and assisted living apartments together with visitors, who access the available facilities.

The landscape scheme forms an integral part of this planning application, and includes all external areas, including the rear garden areas which will provide level access to both grassed and planted areas, including raised beds for ease of access by residents, and planted beds to the front of the home.

The existing levels allow for a terraced approach to be adopted which allows the home to take advantage of its elevated position.

## 2.7 Access

The site is ideally situated, being located in a sustainable suburban location near the centre, of East Grinstead whilst providing links into the wider area, and regional and national transport networks.

The proposed development will have direct access to the site from West Hill, this will provide access to the carpark areas, from which level access will be provided to all areas of the Care Home, via a number of lifts, with access available to all floors.

Level Pedestrian Access will also be available from West Hill, via the original access, which will provide both pedestrian and cycle access.

Level and disabled access will be available throughout the development, as this is an integral part of the developments requirements.



# 3.Design Proposals

## 3.1 The Brief— Proposed use

The development Brief was enhanced and developed to include a care home, and assisted living apartments which would become a focal point for the community, and provide a home for local residents who may require dementia care, at some point, whilst allowing them to remain within their established community.

The application site extends to approximately, 12,323 m<sup>2</sup>, and is currently accessed directly off West Hill, close to the town centre.

The proposed development consists of a 78 bed dementia care home (C2), and 7 additional care units (C2).

The brief was to develop a care home that has a homely, safe feel and provides a comfortable environment with state of the art equipment and facilities, which exceeded the National Minimum Spatial Requirements as defined in the Care Standards Act 2000, and exceeds current CQC standards, whilst meeting the expectations and demands of families for whom their family member are being cared for, whilst aiming to provide access and enjoyment for the residents to a safe and secure garden areas for those with both limited mobility, and or other disabilities, through the creation of raised sensory beds and a water feature, with wheelchair accessible garden paths and raised flowerbeds, as appropriate.

The purpose built care home will offer a range of facilities for the residents which will include, Hairdressing Salon, Activity Room, Various Lounges, Quiet Room and a training facilities all of which are intended to improve the quality of life for the residents of the home, along with the normal 'Hotel Services' including a commercial kitchen and laundry to provide on site facilities for the care home.

The garden areas will be designed to incorporate both formal gardens and not so formal areas around the care home, and include areas where residents can maintain their own area if desired, or grow vegetables for use in the home, all of which will be designed to meet the needs of residents.

## 3.2 Design Layout

The layout has been designed to maximise on the orientation of the site, and ensure that the residents of the care home have a choice of varied and different outlooks depending on the client's wishes, and needs.

The 'Hotel services' and staff areas are all located throughout the care home, so as to make best use of all available areas. Deliveries etc are all brought in via the lower ground floor, with lift with access direct to the back of house areas, away from the residents area.

This allows for deliveries to be controlled without disrupting the day to day operation of the home.

The main access to the home will be directly off the new controlled main entrance.

The car park for the care home is located at the front of the home, and adjacent to the assisted living apartments.

The building has been designed to provide a scale and mass that is appropriate within the existing context and that of the local area. Buildings within the local area tend to vary from 2-3 storeys. The proposed development is 3 and 2.5 storeys with pitched roofs which again relate to the context seen within the local area.

The design solution adopted attempts to ensure that the building does not compete with the surrounding buildings, but respects the site and its form which has led to the design being respectful of its setting.

The design also aims to ensure that natural light is provided in all parts of the building, whilst ensuring a homely environment exists.

# 3.Design Proposals

## 3.3 Access Internal

Access in and around the development is of paramount importance for both the residents and staff alike, as it essential that they are able to move around the home freely with little conflict with other users.

The home has been so designed so as to ensure that clear access paths are visible, and of an appropriate size to accommodate the every day needs of the residents and staff of the care home.

The main entrance opens up into a large open area, which will accommodate a reception, and a lounge area , where residents and visitors can sit and relax, within this informal area.

There is also a Cinema, and hair salon located within the home, with access being provided by 2No lifts which provide direct access along with a main stairs to all floors.

Various lounges and amenity spaces are provided, throughout the home and offer different outlooks , across the secure garden areas around the home.

All of the ground floor care home bedrooms, located within the secure garden area, will have access to their own patio area, as will the ground floor lounges, and assisted living apartments.

All doors at ground and lower ground floor level, will provide level access to the garden areas.

The principle corridors are wide enough to accommodate two wheel chairs or a trolley and a wheel chair passing.

The Locations of the day rooms etc within the care home have been so located so as to ensure they are located close to residents rooms , with all corridors having a meaning full place for residents to go.

## 3.4 Scale of Development

The scale and form of the development has been designed to reflect that found in many modern care homes, and of a sustainable size, and critical mass which equates to 78 Care Beds, and 7No additional care units.

The site is falls to the south.

The development is made up of a 2.5 and 3 storey elements, which looks to reflect that of the surrounding area.

# 3.Design Proposals

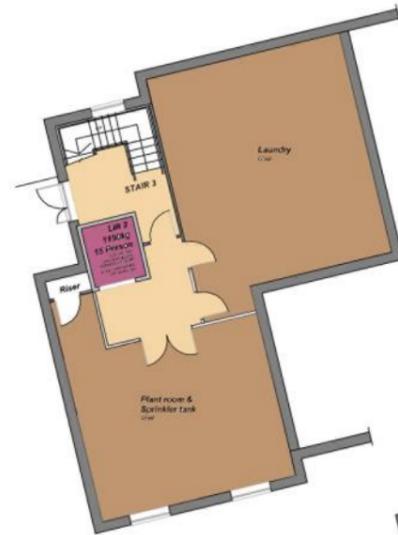
## 3.5 Plans Site Layout



# 3.Design Proposals

## 3.5 Plans Basement & Ground Floor plan

**Basement floor plan**  
160m<sup>2</sup>



**Ground floor plan**  
25no bedrooms  
1,339m<sup>2</sup>



# 3.Design Proposals

## 3.5 Plans First Floor plan



**First floor plan**  
**28no bedrooms**  
**1,327m<sup>2</sup>**

# 3.Design Proposals

## 3.5 Plans Second Floor plan



**Second floor plan**  
**25no bedrooms**  
**1,327m<sup>2</sup>**

# 3.Design Proposals

## 3.5 Care Home Elevations



# 3.Design Proposals

## 3.5 Care Home Elevations



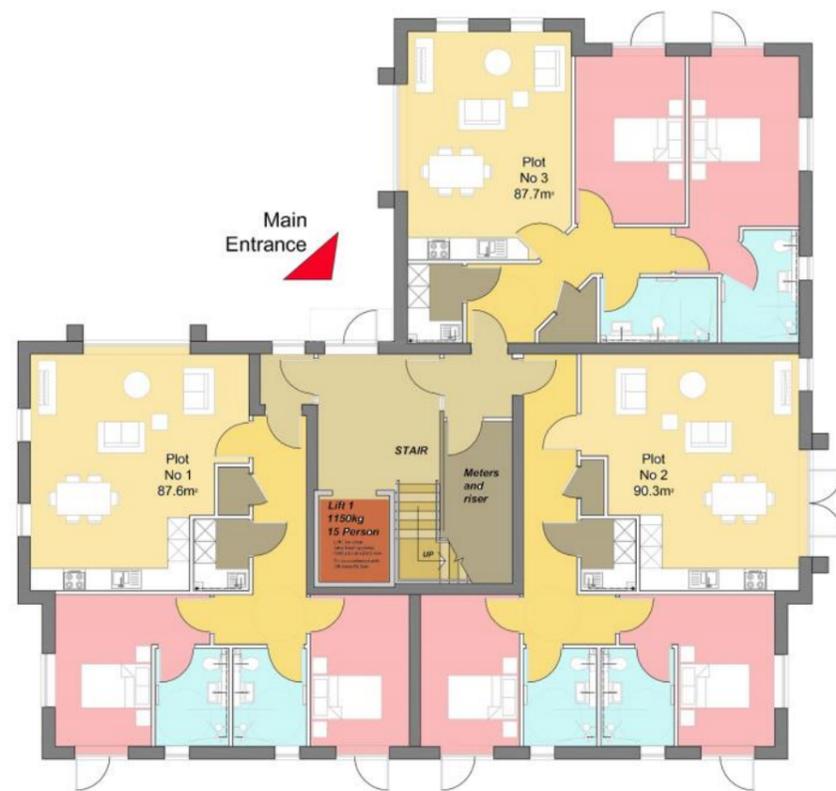
***North Elevation***



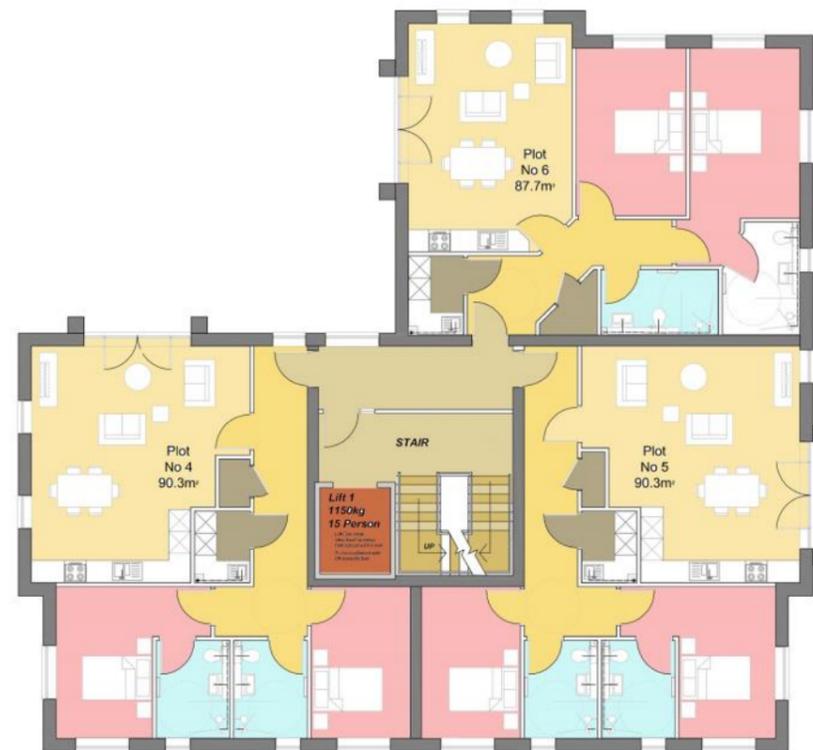
***East Elevation***

# 3.Design Proposals

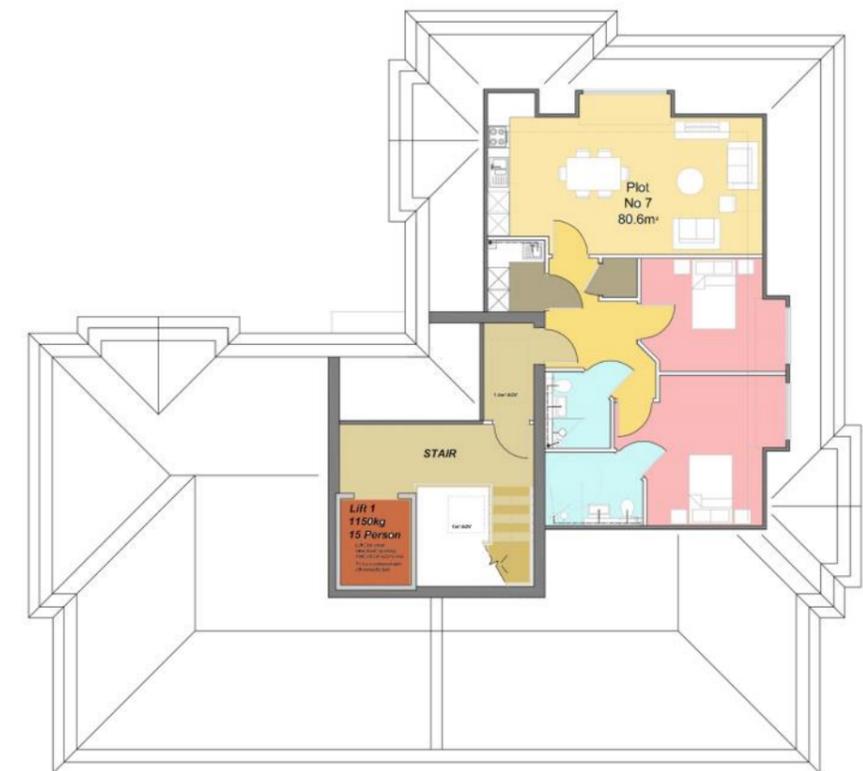
## 3.5 Plans Additional Care Units



**Ground Floor Plan**  
Area 342 m<sup>2</sup>



**First Floor Plan**  
Area 342 m<sup>2</sup>



**Second Floor Plan**  
Area 118 m<sup>2</sup>

# 3.Design Proposals

## 3.5 Additional Care Units



**North Elevation (Front)**



**West Elevation (Side)**



**East Elevation (Side)**

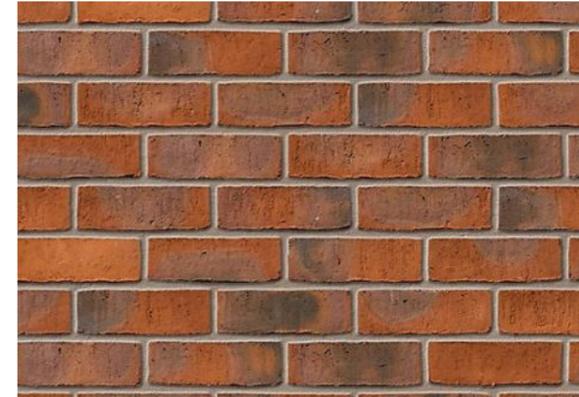


**South Elevation (Rear)**

# 3.Design Proposals

## 3.6 Appearance & Materials

The choice of materials looks to reflect the residential nature of the development and the local residential surroundings. A traditional palette of materials is proposed, principally consisting of red facing brickwork, sandstone and coloured windows and doors. The final choice of materials will be subject to a normal planning condition.



## 3.7 Refuse & Recycling

The proposed development includes for separate Bin stores, within which separate waste bins will be stored for collection, and recycling as appropriate, by private collection.

The bin store will have wash down facilities and will be gated to ensure full control of the area.

The bin store is located to provide easy access for both staff and collection of waste.



# 4. Conclusion

## 4.0 Conclusion

In conclusion the proposed development of a specialist care facility in this location is ideally suited in many ways, both in terms of the location, and its proposed form. The design, layout and scale compliment and fit well within the surrounding context and is not detrimental to the area within which the development is located.

The proposed development will ensure that the local communities have access to the specialist dementia / nursing care this home can bring.

The proposed home will ensure that the resident's quality of life is greatly enhanced within a comfortable, and an ideal location, within an established community with whom they can maintain their links and involvement.

The scheme is designed to ensure that the future viability of the home is secure and that it is able to meet the increasing demanding needs of its future residents.

The proposed redevelopment of this sustainable site represents a carefully considered scheme that, will help deliver a new community facility for the local community as well as having associated employment and housing benefits.

There is both an identified local need for quality care accommodation in the local area as well as extending the job opportunities for local people.

It is for the above reasons that the proposed development of this site is best suited to the intended use, along with all the other benefits the home will bring to the local area.

In summary we believe that the proposal fully accords with the relevant Development Plan policies and the objectives of the 'Framework' and we would respectfully request that the Council approve the submitted application.

***This 'Design and Access Statement', forms part of the supporting documentation for the approval of the Planning Application. Please refer to the additional supporting documentation and drawn information for reference and further detail.***