

Design & Access Statement

Victoria Gate:
119-127 South Road
Haywards Heath
RH16 4LR

May 2025

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Introduction:

Introduction:

This document has been prepared to support a planning application for Victoria Gate, 119 - 127 South Road, Haywards Heath.

The proposal seeks planning permission to add a single storey mansard extension at third floor; together with a part second floor; mansard to accommodate an additional 5no. 1 bedroom residential flats for private rent.

This document considers the proposed additional accommodation, together with its context within South Road and the wider Haywards Heath Town Centre Master Plan.

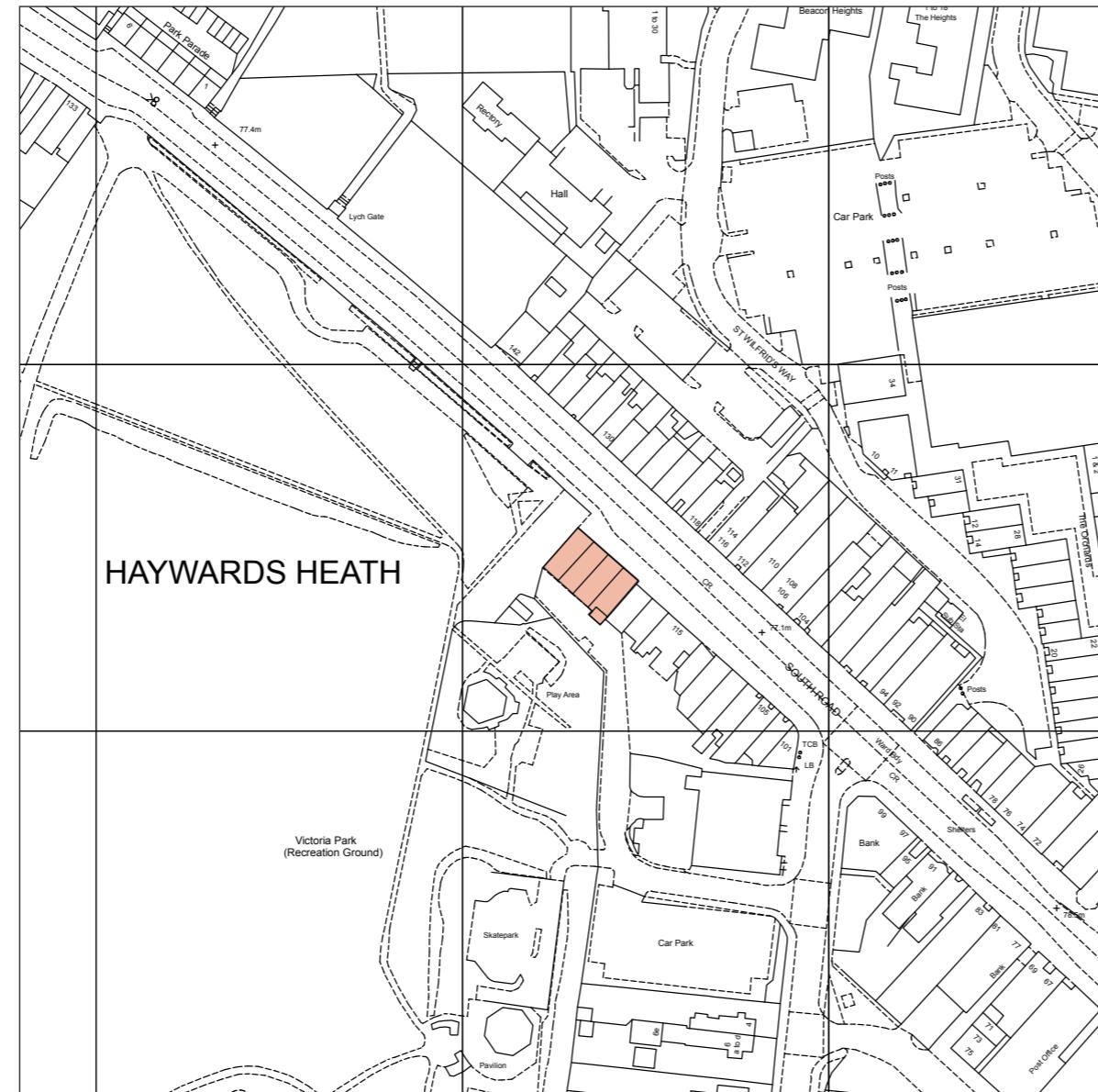
Existing Accommodation:

5 x 2 bedroom units
5 x 1 bedroom units

Proposed Accommodation:

5x 2 bedroom units
10 x 1 bedroom units

Site Location Plan



01

Use and Amount:

1.0 Use and Amount:

1.1 Victoria Gate is a 1989 brick built office building with ground floor commercial accommodation. The first and second floors were converted into 5No. 2 bedroom residential flats in 2013 under consent 13/02794PDOFF.

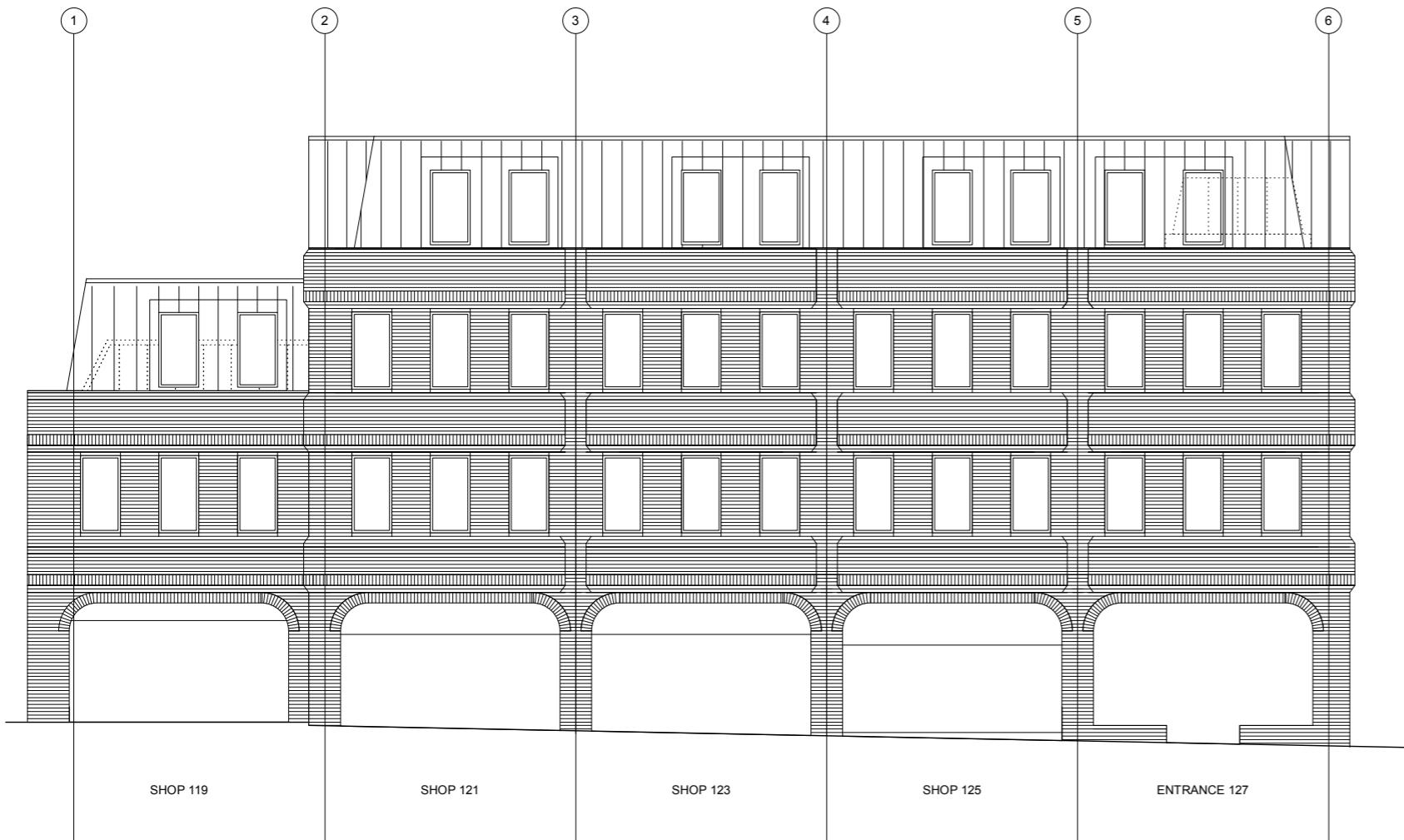
Existing Accommodation:

5 x 2 bedroom units
5 x 1 bedroom units
Total: 10 No. residential units.

1.2 The proposal within this application looks to add 4 No. 1 bedroom flats within a new 3rd floor mansard roof extension and a 1 No. 1 bedroom flat in a mansard roof extension at part second floor.

Proposed Accommodation:

5x 2 bedroom units
10 x 1 bedroom units
Total: 15 No. residential units.



Proposed Front Elevation

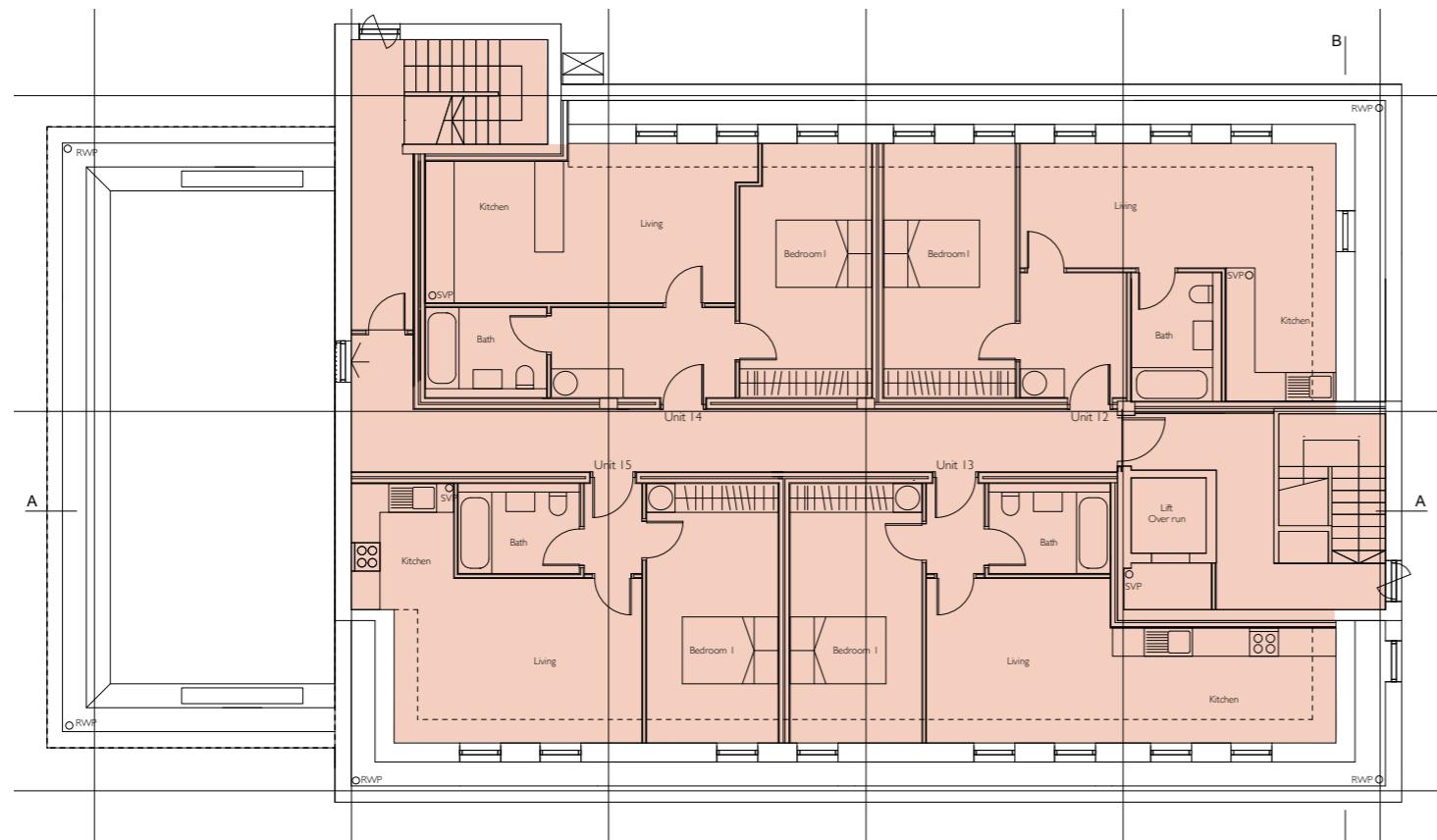
1.0 Use and Amount:

1.3 Existing Photographs



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Scale and Appearance:



Proposed Third Floor



Proposed Second Floor

2.0 Scale and Appearance

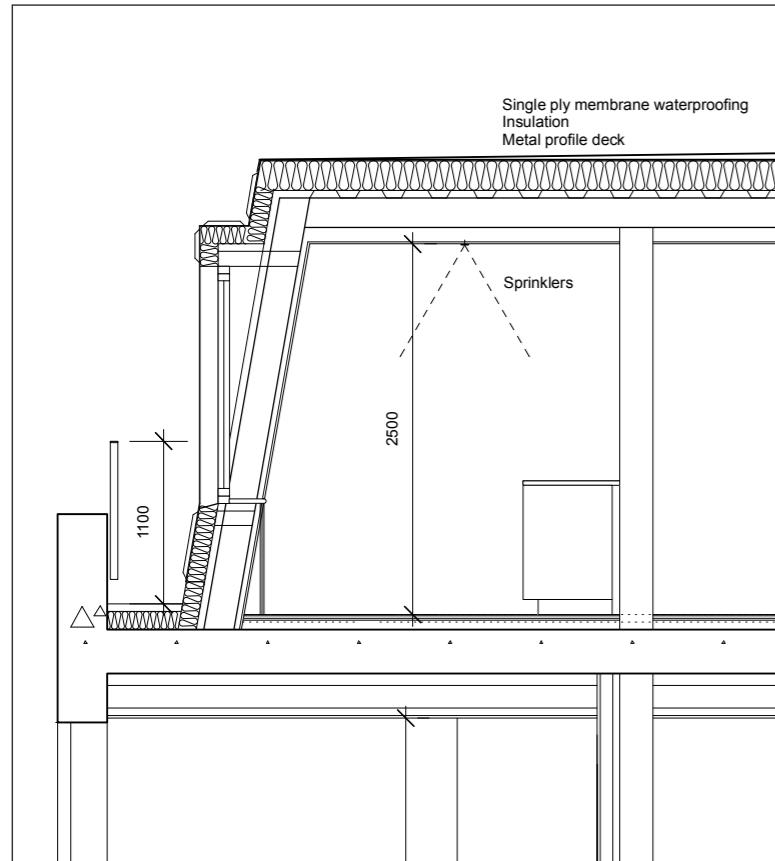
2.1 Scale-Height: The height of the additional storey would be 3.17m, being only 2.4m above the existing brick parapet.

2.2 Scale-Floor Area: The additional floor areas are schedule below:

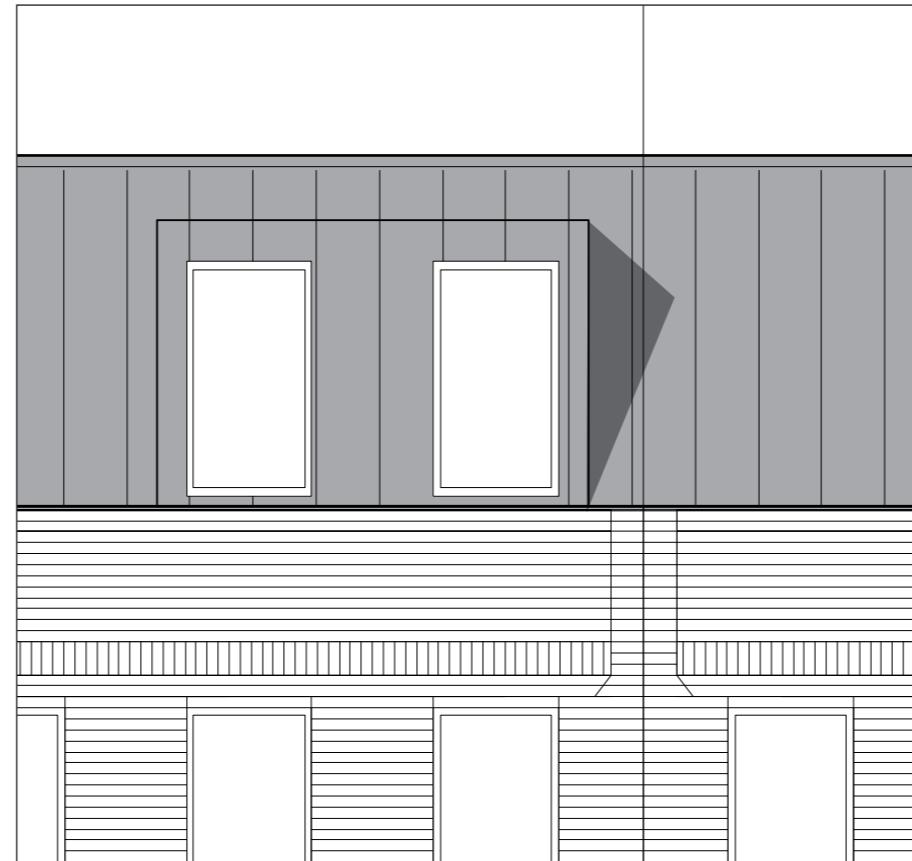
3rd Floor Internal Area: 263 sqm

2nd Floor Internal Area: 45 sqm

Total Additional floor Area: 308 sqm



Proposed Mansard and Dormer Section



Proposed Mansard and Dormer Elevation

2.0 Scale and Appearance

2.3 Appearance - Dormers: The proposed 80 degree mansard facades and projecting dormers are to be constructed from standing seam zinc in a dark grey colour visually similar to traditional lead and will allow the mansard to be visually read as a 'roof' above the brick building. The dormer windows will be paired, with the projecting pair articulating the facade in line with the vertical brick bays set up by the arches at ground floor level.

2.4 Appearance - Roofs: The new flat roofs would be finished in a single ply membrane waterproofing system with a dark grey finish.

2.0 Scale and Appearance:

2.5 The proposed mansard extension will provide a visual 'stop end' to the existing terrace, balancing with the facades of the properties to the opposite uphill end of the terrace.

2.6 The side portion mansard will sit balanced with the adjacent pitched roof neighbour, and lower than the consented additional story at 115 South Road.

Additional accommodation:
5 No. 1 bed units
Total 5 units





Street view looking west with proposed mansard extension

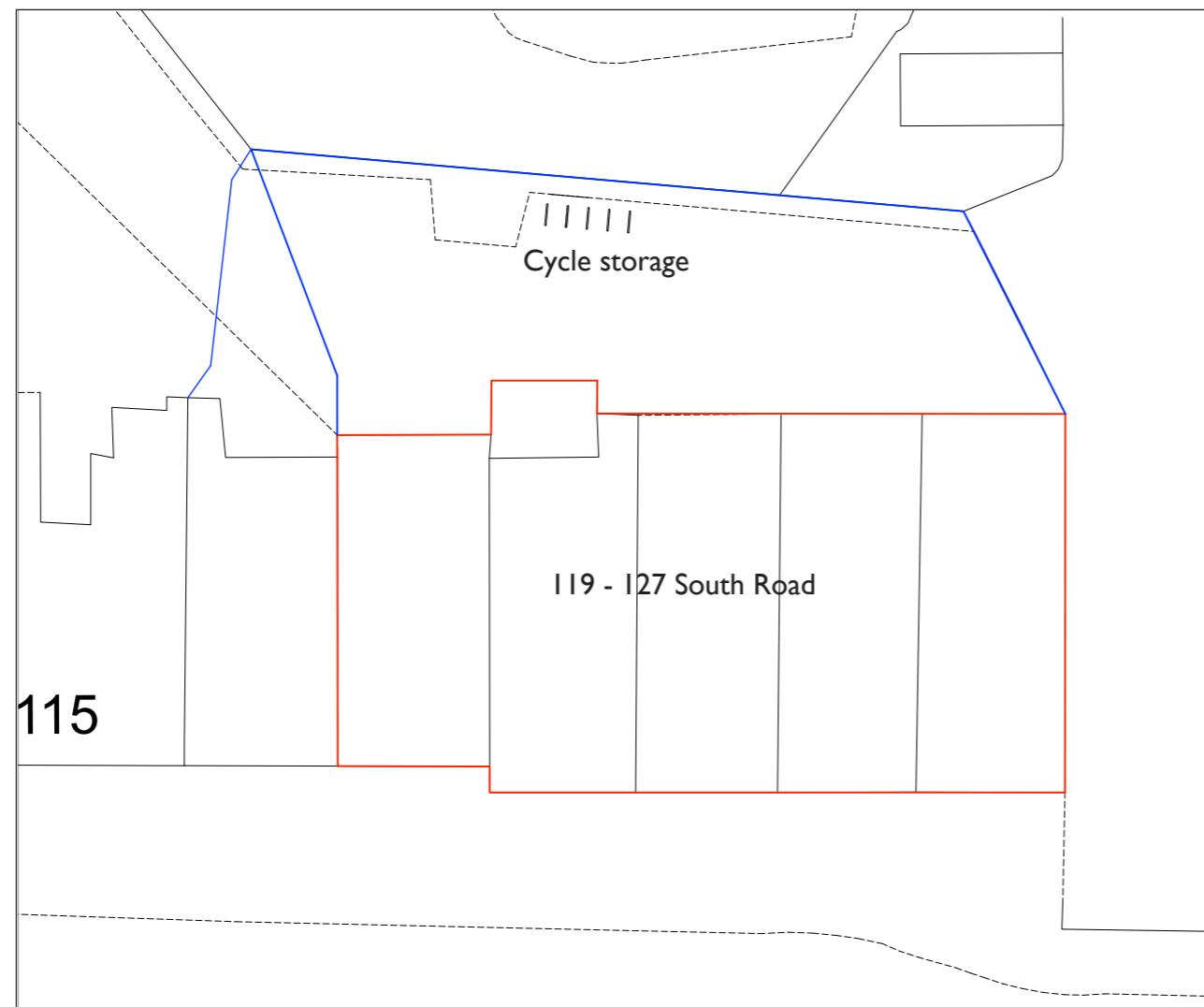


Street view looking east with proposed mansard extension

03

Access:

3.0 Access



3.1 Access - Ground Floor Entrance: Access to the existing ground floor and lift to all existing floors will be unchanged.

3.2 Access - New Second Floor: Access to the new second floor accommodation will be via the existing lift and staircase.

3.2 Access - New Third Floor: Access to the new third floor accommodation will be via the existing lift to second floor and the new extended staircase to Third floor.

3.3 Cycle Storage: Secure cycle storage will be located within the rear car park.