

Post development habitat measurements plan. Not to scale.

 Application site

Retained habitats

 Bracken

 Bramble scrub

 Developed land, sealed surface: hardstanding

 Lowland mixed deciduous woodland

 Tall forbs

 Modified grassland

 Line of trees

 Native hedgerow

 Retained rural tree

Proposed habitats

 Development area- Other built development

 Development area- residential

 Developed land; sealed surface: Hardstanding

 Mixed scrub

 Modified grassland

 Other neutral grassland

 Play area

 Sustainable drainage systems

 Traditional orchards

APPLICATION SITE: RESIDENTIAL STREET CHARACTER

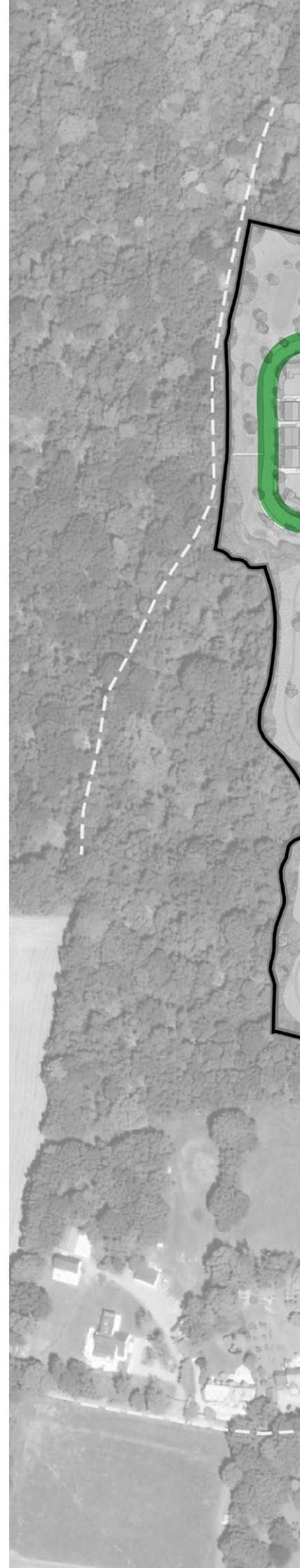
A residential street ‘character area’ approach has been adopted to ensure proposals respond to local context while being engaging and varied.

The residential street character areas are designed to respond to the immediate local context at their position within the masterplan. They contribute to creating a sense of place and a cohesive development that is visually and functionally integrated with its surroundings. These street areas are determined by various placemaking tools, including density, building types, architectural treatment, materials and landscape. This section explores the diverse yet cohesive range of character areas within **Land west of Turners Hill Road, and north of Huntsland**. It is expected that future applications for reserved matters should align with the vision for residential street character areas outlined in this chapter.

CHARACTER AREAS

The three residential street characters identified are as follows:

-  Application site
-  Village Avenue
-  Village Lanes
-  Green Lanes





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15' MAX PER TO ADJACENT PROXIMITY

Overarching urban design principles

The purpose of the overarching design principles outlined in the following pages is to promote good design throughout the development of **Land west of Turners Hill Road and north of Huntsland**. These principles will be applicable to both character areas and will help ensure that the development is cohesive, functional and visually appealing. They will guide decision-making in all aspects of the development including layout, architecture, materials and landscaping. Adhering to these principles will result in a development of high-quality design that is in keeping with the character of the area.



BLOCK STRUCTURE

The arrangement and organisation of blocks within the development should promote positive building frontages onto all streets and spaces, provide defensible space at the front of dwellings units and for all ground floor apartments, establish clear and appropriate boundaries between private and public areas and avoid blank facades facing public spaces and streets.



APARTMENT DESIGN

All flats, including those above garages and maisonettes within the development should be designed with a dual aspect. Communal spaces will be provided to the same quality and protection as a dwelling house. Additionally, small, secure and well-landscaped car parks will be provided for residents.



TENURE, DESIGN AND LAYOUT INCLUSIVITY

The development does not differentiate between different types of housing tenure in terms of design, layout, or architectural style. Affordable homes pepper potted and indistinguishable throughout the masterplan. Additionally, parking provision and amenity standards are consistent across all housing types within the development.



STREET TREES

Land west of Turner’s Hill Road and north of Huntsland will incorporate street trees where appropriate within the proposals. This will include a more regular pattern of tree planting to define key routes/public realm, and irregular planting along minor streets.



TREATMENT OF THE PUBLIC REALM

The public realm within **Land west of Turner’s Hill Road and north of Huntsland** should be designed with a cohesive, varied and high-quality material palette. The street widths and design should support the street hierarchy, promoting legibility and creating a sense of place. Public spaces must be accessible and inclusive for all users, providing opportunities for socialisation and leisure. The design will be carefully crafted with safety in mind, promoting walking and cycling as sustainable modes of transportation.



PERMEABILITY

The design of streets, routes, and pathways within **Land west of Turner’s Hill Road and north of Huntsland** should aim to follow desire lines and provide clear and obvious access to key destinations such as green spaces and play areas. The routes should be designed to create safe, secure and inclusive environments, utilising natural surveillance and appropriate lighting.



PARKING

The provision of parking at **Land west of Turner’s Hill Road and north of Huntsland** should be conveniently located for all residents and visitors and assimilate with the street scene through suitable visual mitigation such as planting. Parking provision and arrangement should prevent ad-hoc parking and offer a range of parking typologies and solutions including on-street, on-plot and within secure, private, allocated parking courts.



BUILDING DESIGN

All buildings within **Land west of Turner’s Hill Road and north of Huntsland** should be of good design and reflect their location within the masterplan. Building materials should reflect the local vernacular with landmark buildings providing legibility through additional architectural and visual interest. All buildings should be sustainable, designed with inclusivity in mind and well-serviced with excellent digital provision. There should be no distinguishable difference between market and affordable homes throughout the masterplan



Village Avenue

The Village Avenue will form a key active travel artery, featuring a tree-lined street with verges, a safe and attractive off-road combined pedestrian and cycle path, and a diverse mix of starter homes through to family homes.



Village Avenue character area. Not to scale



BUILDING TYPOLOGIES

A mixture of semi-detached, terraces, flats, maisonettes and some detached homes.



BUILDING HEIGHTS

Building heights of up to two and a half storeys.





BUILDING DENSITY

This area will feature medium to higher densities compared to other areas of the application site.



BUILDING LINES

A formal and consistent building line with minimal variation is proposed. The emphasis will be on rhythm and repetition with subtle changes in architecture.



MATERIALS AND COLOUR

A mixture of materials, including red/brown brick, red/brown hanging tile, and some black timber boarding. Additionally, there will be a mix of red/brown or black/grey roof tiles.



STREET DESIGN

The street design will feature planted verges, a combined pedestrian and cycle path on one side of the carriageway and a footway on the other.



BOUNDARY TREATMENTS AND SETBACKS

Front gardens will generally be around 2m in size. They will be characterised by soft planted areas, with some featuring hedge boundaries where possible.



PARKING ARRANGEMENTS

Parking will be primarily located on plot, with some use of rear parking courts associated with FOG arrangements. Any garages to be recessed behind the building line. Frontage parking should be limited.



PLANTING STRATEGY

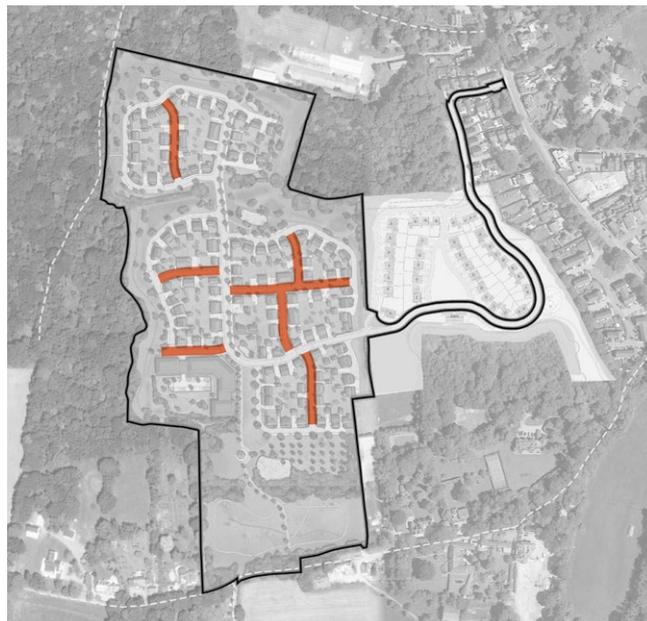
Planting within the Village Avenue will be more formal in character. Formal shrubs, clipped native single-species hedges and uniform avenue tree planting will promote a cohesive character, helping to create a sense of order and continuity, enhancing the overall experience of the space for both residents and visitors.



Village Lanes

Village Lanes are peaceful, family-friendly streets comprised of beautifully landscaped pedestrian and cycle-friendly streets and spaces.

These areas will be thoughtfully designed to encourage residents to walk and cycle from their doorstep, gather, socialise, and foster a sense of community, promoting health and wellbeing.



Village Lanes character area. Not to scale



BUILDING TYPOLOGIES

Predominantly consisting of semi-detached and terraced homes, with some maisonettes.



BUILDING HEIGHTS

Predominantly two storey with some two and a half storeys buildings.





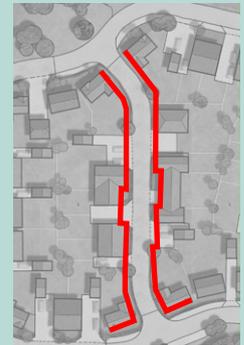
BUILDING DENSITY

Comparatively, this area will feature medium densities relative to other areas.



BUILDING LINES

Some staggered building lines will allow for a variety of building and parking typologies, creating a more informal character along these minor streets.



MATERIALS AND COLOUR

These areas will typically exhibit red/brown brick facades. Change in material at key locations could include hanging tile, or black timber boarding. Roofs will be red/brown or black/grey tiles.



STREET DESIGN

The street design predominantly feature shared surface streets, with street tree planting wherever feasible.



BOUNDARY TREATMENTS AND SETBACKS

Front gardens will generally be 2m in size. They will be characterised by soft planted areas, with some featuring hedge boundaries where possible.



PARKING ARRANGEMENTS

Parking will primarily be a mixture of on-plot driveways between units and some frontage parking arranged in short runs.



PLANTING STRATEGY

The planting strategy for the Village Lanes will showcase a more informal approach, through naturalistic shrubs, perennial planting, wildflower verges and street trees of low water demand. This approach aims to create an informal planting scheme, complemented by strategically placed street tree planting interspersed throughout the character area.



Green Lanes

The residents of Green Lanes enjoy vistas of the countryside and/or the internal network of biodiverse, multi-functional open spaces, green corridors and woodland.

These areas enjoy views of a mixture of tree-planted belts, multi-functional public open spaces, including sustainable drainage features, picturesque paths, cycle routes, and children's play areas. These are the most tranquil areas of **Land west of Turners Hill Road, and north of Huntsland**, and provide residents with a serene and peaceful environment to call home. The predominantly family orientated homes reflect nature in their use of materials and colour palette.



Green Lanes character area. Not to scale



BUILDING TYPOLOGIES

Consist of predominantly detached and semi-detached houses.



BUILDING HEIGHTS

Predominantly up to two storey however two and a half storeys can still feature.





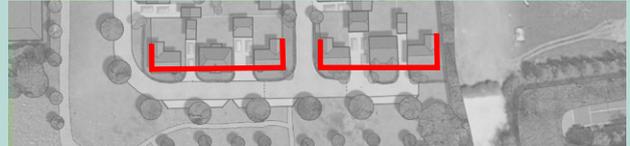
BUILDING DENSITY

This area will feature medium-lower densities compared to other areas, reflecting the predominant use of detached and semi-detached homes.



BUILDING LINES

A slightly more formal character is featured, incorporating a consistent building line with minimal variation in setbacks and orientation. However, in general, building alignments run parallel to the street.



MATERIALS AND COLOUR

Emphasis on natural colours and materials including timber boarding and either red/brown brick with contrasting brick detailing.



STREET DESIGN

The street design will feature a predominantly single-sided shared-surface lane with tree planting, except where the character area joins Turners Hill Road, where a street and footway are proposed.



BOUNDARY TREATMENTS AND SETBACKS

Front gardens will generally range between 2m to 5m in size. They will be characterised by soft planted areas, with some featuring hedge boundaries where possible.



PARKING ARRANGEMENTS

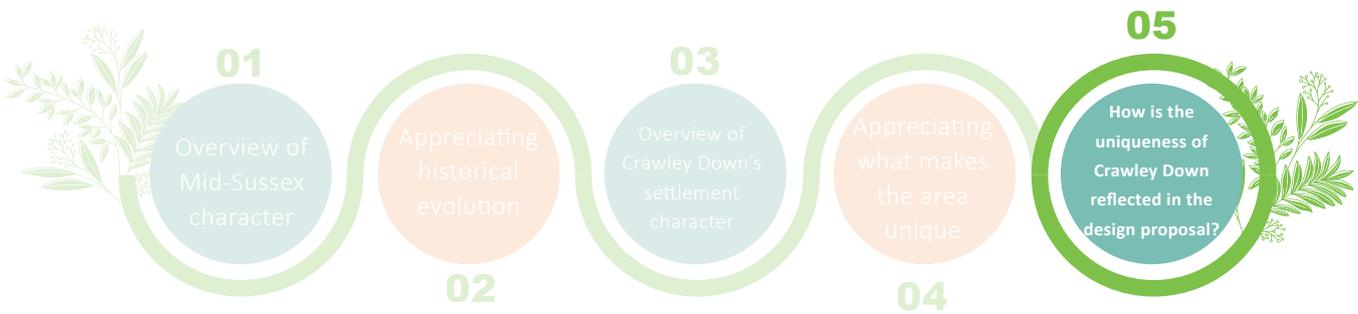
Parking will be primarily located on plot, with discreet street parking for visitors set within the landscaping. Any garages to be recessed slightly behind the building line.



PLANTING STRATEGY

Planting will reflect this street character area's close relationship with the perimeter green corridor, establishing a verdant view for the properties that front onto these feature. Where possible, native hedge species present in the local landscape will be introduced within the plot frontages to create a harmonious relationship with the adjacent open spaces.





How is the uniqueness of Crawley Down reflected in the design proposal?

The following analysis demonstrates how the identified placemaking ingredients that make Crawley Down unique are reflected in the design proposals.

The analysis revisits the contextual studies undertaken in earlier chapters of this document and demonstrates how the application site responds its character context.

Design response: Periphery woodland

The scheme preserves woodland and actively integrates it as an attractive, key placemaking element by ensuring homes face outward toward it. This approach helps maintain Crawley Down's semi-rural character and strong connection to the surrounding landscape.



Analysis revisited

Much of the periphery of Crawley Down is defined by homes set in close relationship with woodland, highlighting the village's rural character and strong connection to the surrounding landscape.

Design lesson: Proposals should retain and celebrate the woodland blocks and belts onsite as a placemaking opportunity.

Design response: Drainage ditches

The proposals include a number of drainage swales adjacent to streets as part of a sustainable drainage strategy.



Analysis revisited

Turners Hill Road features soft-planted drainage ditches within its verge.

Design lesson: Design proposals should explore the inclusion of drainage swales within some streets as part of a sustainable drainage strategy.

Design response: Growing food

The proposals accommodate a number of locations for community orchards and gardens across the site.



Analysis revisited

Crawley Down has a large allotment space near the heart of the village.

Design lesson: Design proposals should incorporate new growing spaces, such as community orchards, gardens, and other edible landscapes.

Design response: Play and recreation

The proposals include formal and informal children's play.



Analysis revisited

Formal play is set within green settings and closely located to nearby homes.

Design Lesson: Design proposals will create a play strategy that fully integrates within the scheme and is in line with policy requirements.



Design response: Woodland remnants

The proposals celebrate remnant woodland that is on the periphery of the site and retains tree planting where possible. Where Ancient Woodland is present, 15m buffers will be applied.



Analysis revisited

Crawley Down features remnants of woodland that have been intertwined within its settlement pattern.

Design lesson: Design proposals should seek to retain and enhance internal vegetated corridors where possible.



Design response: Provision of street trees

The scheme includes planted verges and street trees to help soften the overall street scene and help to create a more attractive village environment.



Analysis revisited

There is an absence of street trees in Crawley Down with a lot of the greenery and rural feel being as a result of soft boundary treatments.

Design lesson: Design proposals should incorporate street trees as a means to improve the quality of the built environment.

Design response: Terraced streets

Terraced homes are integrated within the masterplan particularly within the higher density areas to reflect the historic character of Crawley Down.



Analysis revisited

The historic area of Bowers Place features a terraced street. Newer developments such as Russel Place, Acorn Avenue and The Leas also feature terraced homes.

Design lesson: Design proposals should consider integrating terraced and unified, linked building frontages.

Design response: Verge streets

The scheme includes planted verges to reflect some of the more visually interesting residential street scenes in Crawley Down.



Analysis revisited

Crawley Down demonstrates areas of landscaped streets that include verges, few of which are planted with trees in a linear arrangement.



Design lesson: The proposals should explore the inclusion of tree-lined verges.

Design response: Propose a range of housetypes that could include contemporary housetypes

A range of house types are proposed to reflect the local settlement character. Exact house type mix will be determined at reserved matters stage of the application.



Analysis revisited

Crawley Down exhibits a broad range of housetypes reflective of the era built. In more recent developments there have been more contemporary approaches to material use and design.

Design Lesson: The richness of house types should be reflected in design proposals where appropriate. Design proposals should explore the provision of apartments, terraces, semi-detached and detached homes.

Design response: Variety of architectural styles

The scheme proposes a range of architectural styles to reflect the local settlement character. Exact architectural styles will be determined at reserved matters stage of the application.



Analysis revisited

Crawley Down exhibits a range of architectural styles reflective of their respective construction eras.

Design Lesson: Design proposals should explore a variety of house types, styles and materials to create visual interest while maintaining overall cohesion.

Design response: Apply appropriate densities

The proposals include a range of densities to reflect local built character.



Analysis revisited

The study area exhibits a variety of densities immediately around the site and within other areas of Crawley Down, reflecting the diverse range of character identified throughout this document.

Design Lesson: An average proposed net housing density of around 35 dwellings per hectare for Land west of Turners Hill Road and south of Huntsland aligns with the surrounding area.

Design response: Maintain Crawley Down's village feel

The proposals reflect the village feel of Crawley Down by retaining green infrastructure, proposing medium-to-lower housing densities, and incorporating a settlement pattern characterised by winding streets and lanes.



Analysis revisited

Crawley Down has a distinct village atmosphere, characterised by its medium-to-low housing densities and winding streets.

Design Lesson: Design proposals should explore the inclusion of more organic streets, reinforced by medium-lower densities, particularly where development interacts with the countryside.

Design response: retain connections with the wider countryside

The masterplan preserves the site's strong relationship with the surrounding countryside including views to St Leonard Church, helping to enhance the village's connection to the surrounding landscape, including reinforcing Crawley Down's semi-rural character.



Analysis revisited

The application site and Crawley Down has a strong relationship with the surrounding countryside.

Design lesson: The scheme should enhance its connection with the surrounding countryside by celebrating middle distance views across the undulating wooded landscape. The landscape strategy should highlight views to towards St Leonards Church by introducing seating and interpretation boards.

Design response: Green corridors

The masterplan retains green infrastructure to create an interconnected network of green and active travel corridors that connect to the surrounding area, including the Worth Way.



Analysis revisited

The Worth Way is a distinct green corridor that dissects Crawley Down into two. It also behaves as a key wildlife and active travel corridor connecting from East Grinstead to Crawley.

Design lesson: Design proposals should integrate green corridors within the proposals. Connections to the Worth Way should also be facilitated.



Design Response: Reflect the use of rhythm, repetition, projections and impressions

The masterplan explores the use of rhythm, repetition, projections and impressions to reflect the prevailing local character. This should be explored further during future reserved matters applications.



Analysis revisited

Early 20th century and older residential streets and neighbourhoods have a unifying character based on a strong sense of rhythm and repetition, projections and impressions of architectural elements.

Design lesson: Design proposals should consider projections and impressions, and rhythm and repetition particularly at the reserved matters stage.



Design Response: A range of boundary treatments

The proposal includes a range of boundary treatments that respond to their position within the masterplan. The variety and hierarchy of boundary treatments should be further explored at the reserved matters stages.



Analysis revisited

Crawley Down has a range of boundary treatments, varying from hard to soft and from deep to shallow. The most commonly found front garden boundary treatment is a low brick wall, planted or fenced.



Design Lesson: Consider a variety of boundary treatments.

Design Response: Materials and colour that fit

The proposals will draw upon the materials, colour and details found in the surrounding context. The palette of materials, colour and details should be developed further during the reserved matters stages of design to ensure that the scheme fits seamlessly within the context of Crawley Down.



Analysis revisited

The traditional materials used in Crawley Down include brick, tile hanging, some render and some weatherboard. However, the most commonly used building material is red brick with tile hanging.

Design Lesson: proposals should reflect the prevailing materials' palette and colour found in the local area, particularly at the reserved matters stage.



Design Response: Settlement patterns

The masterplan responds positively to existing settlement patterns by incorporating more organic street layouts that positively interact with the countryside. Internal streets are framed by buildings that blend traditional architectural styles and materials with modern design to make the application site truly unique.



Analysis revisited

Crawley Down has evolved organically over several centuries, reflecting its rural origins and gradual transformation into a vibrant village.

Design Lesson: The design proposals should respect the village's settlement pattern of winding roads and blend traditional architectural styles and materials with modern design to create something new.

SUSTAINABILITY

A range of sustainable design and construction features are proposed based on the information available at this stage in the planning process and area summarised on the following pages.

ENERGY

In line with policy, the energy strategy follows the Energy Hierarchy, on the basis that it is preferable to firstly minimise carbon dioxide emissions through reduced energy demand; prior to considering low carbon and renewable energy supply options.

- **Demand Reduction** – a series of energy efficient measures are to be included, including reduced u-values, a low rate of air permeability, and minimised thermal bridging to reduce heat transfers. System efficiencies will also be improved through the incorporation of efficient fans, lighting and controls. Unregulated energy consumption will be reduced through measures such as the incorporation of highly efficient domestic appliances.

- **Low Carbon and Renewable Energy** – the incorporation of renewable technologies has been considered, and it is recommended that Air Source Heat Pumps (ASHPs) be employed for space and water heating. It is also recommended that roof-mounted photovoltaic (PV) panels be incorporated to generate carbon-free electricity on-site.

It is anticipated that smart-meters will be provided within dwellings to ensure a more detailed understanding of where and how energy is being used.

Through the incorporation of electric-only systems in lieu of those that consume fossil fuels, the proposed development will be future-proofed to take advantage of the anticipated decarbonisation of the national grid.

ECOLOGY

A series of measures to enhance the biodiversity value of the site will be incorporated within the proposed development. This will conserve and increase the ecological value of the habitats present at the site, in line with relevant planning policy. A minimum 10% net gain in biodiversity is anticipated, which will be achieved through the incorporation of measures that include:

- The planting of native species or species of benefit to wildlife to provide foraging opportunities for invertebrates, birds and bats.
- The introduction of additional habitats above the ground level, such as bird and bat boxes, and the provision of insect boxes.
- The delivery of areas of blue and green infrastructure as part of the proposed Landscape Strategy.
- The planting of additional trees and enhancement of soft landscaping, in addition to the prioritisation of linear features to improve connectivity within the site and to adjacent habitats.

WATER CONSERVATION, WATER QUALITY AND FLOODING

Water saving fittings and appliances will be installed to limit internal water consumption to no more than 85 litres/person/day.

Additional water saving systems, such as grey- and rainwater harvesting systems will also be considered. This would enable the harvesting and recycling of water from hand basins and showers, or the collection of rainwater, respectively. Harvested water may then be used for a range of applications, such as the irrigation of soft landscaping.

The proposed site-specific Drainage Strategy will seek to incorporate the following SuDS techniques to manage surface water runoff in the post-development context:

- Swales
- Attenuation basins

CLIMATE CHANGE ADAPTATION

The future climate is expected to be warmer with variations to the timing and intensity of rainfall. The issue of overheating will need to be accounted for, and considered assessments will be undertaken at a later stage on the basis that, as buildings become better insulated and sealed, the potential risk of overheating increases. Climate change scenarios will also be incorporated into the assessment of flood risk and the design of the proposed Drainage Strategy.

TRANSPORT

Wates Developments have developed a comprehensive sustainable transport strategy that seeks to prioritise active and public transport over car use. The strategy, developed in consultation with WSCC, includes:

- A financial contribution towards extended hours of operation for bus service 272 to Brighton, Haywards Heath and Crawley. This will include later services on Saturday evenings and Sunday services.
- Delivery of improvements to local bus stops.
- Crossing improvements including a new signal-controlled crossing on Turners Hill Road.
- An improved surface for Worth Way to facilitate walking and cycling between the site and village centre.
- Two new car club vehicles, with three years of free membership for new residents.
- Multiple points of pedestrian and cycle access in all directions from the site, connecting with Turners Hill Road, Huntsland and Worth Way.
- A network of cycle routes within the site connecting to key access points.
- An electric vehicle charge point for each dwelling.
- Cycle parking at each dwelling.
- High speed broadband facilitating hybrid working and use of online delivery services.
- Travel Plan with target for 10% modal shift away from car use.

MATERIALS

The materials strategy for the development shall consider lifecycle environmental impacts, durability and responsible sourcing, with a view to optimising material utilisation and safeguarding natural resources.

Consideration shall also be given to the embodied carbon emissions associated with materials during their procurement, in addition to other factors such as structural properties, aesthetics, and cost. As a minimum, reference shall be made to the BRE's Green Guide to Specification for the major elements (walls, floors, roofs), where applicable, with a view to predominantly targeting materials with an 'A' or 'A+' rating. To ensure that timber comes from sustainable sources, all timber product suppliers will be required to demonstrate accreditation by the Forest Stewardship Council (FSC).

HEALTH AND WELLBEING

Best practice methods for minimising the generation of dust and emissions from construction will be implemented, as appropriate to the site and the activities required.

Significant amenity space will be delivered as part of the proposed development, which will promote walking and cycling, and in turn, encouraging healthier and more sustainable living. The provision of open space and associated play and recreation facilities will contribute to the health and social well-being of future residents and the surrounding communities.

Daylighting, ventilation, accessibility and adaptability will also continue to be reviewed throughout the later detailed design stages to ensure the proposed development provides a healthy environment.

WASTE AND THE CIRCULAR ECONOMY

In achieving sustainable development, the interrelationships between sustainable design and the circular economy are recognised. The decoupling of economic activity from the consumption of finite resources will be targeted in the context of the proposed development, through the recognition and valuation of sustainable design as part of product offering.

In addition, the proposed development will seek to embed sustainability within the design, targeting significant reductions in on-site carbon emissions, aiming to maximise performance whilst balancing feasibility and budget considerations. To achieve this, circular economy principles will be exercised throughout the design process and procurement and construction stages.

The construction phase will be undertaken in accordance with targets set out within a Site Waste Management Plan, aiming to divert a significant majority of waste from landfill.

Dedicated space of adequate size and in convenient locations will be provided for all dwellings for the storage of general refuse, recycling and food waste to encourage the separation and recycling of waste during operation. Internal and external storage will be considerate of the Building Regulations and Council requirements.

SECURED BY DESIGN: HOMES 2023

Designing in crime prevention from the outset is key to creating a new socially sustainable development at Land west of Turners Hill Road and north of Huntsland.

Introduction

Secured by Design achieves a reduction of crime risk by combining minimum standards of physical security and well-tested principles of natural surveillance and defensible space.

The design of **Land west of Turners Hill Road and north of Huntsland** has incorporated the key elements of safe and sustainable design appropriate to the outline planning application stage to create a successful community where people will enjoy living and visiting. Reference has been made to Secured by Design, Homes 2023 and its principles have been integrated into the project masterplanning and urban design approach. Moving forward, we will continue to work with Sussex's Secured by Design crime prevention officers through the detailed design stages.



Design Consideration of Secured by Design principles

LAYOUT OF VEHICULAR/PEDESTRIAN ROUTES

Features will be designed to identify routes through the development and clearly define areas of public and private space. This will be further explored during the preparation of the reserved matters applications.

COMMUNAL AREAS

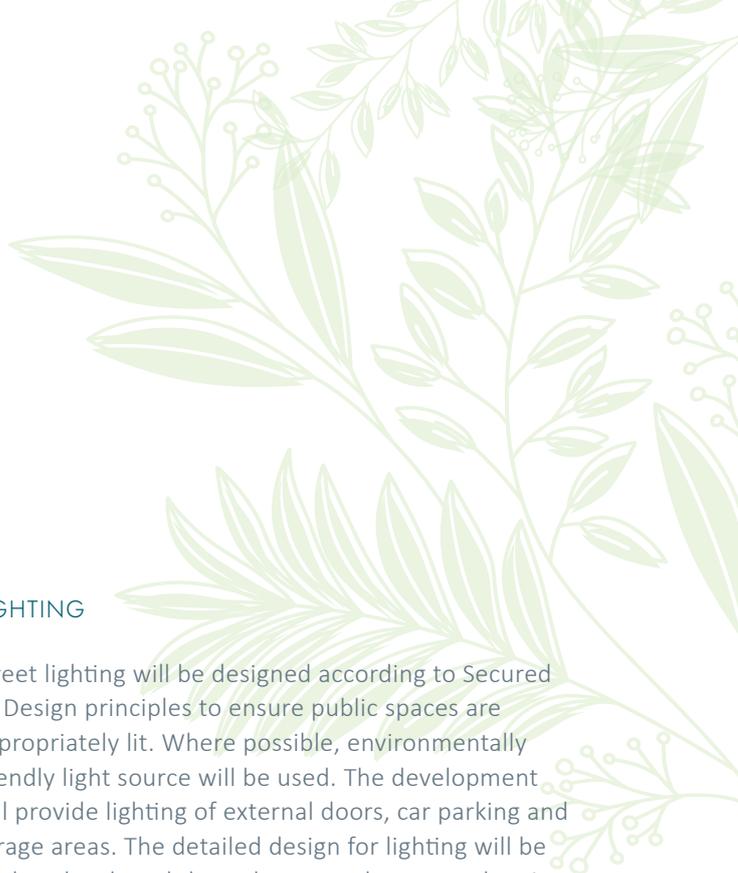
Communal areas such as public spaces and playgrounds will be designed throughout the development to allow natural surveillance from nearby dwellings and with safe and accessible routes to come and go. Public and private space will be clearly defined. Public spaces, SuDS and woodlands will be overlooked to ensure safety and create a vibrant setting for homes. This is explored in the illustrative masterplan and will be further illustrated in future reserved matters applications.

DWELLING BOUNDARIES

The proposals are made with public and private areas clearly identified. To the front of homes, walls, fences and hedges will be kept low to ensure an open view to housing. This will be explored in more detailed plans and artworks and will be further developed through reserved matters planning applications.

LAYOUT AND ORIENTATION OF DWELLINGS

The proposal provides 'active frontages' of overlooked streets. The development has been arranged to provide activity and natural surveillance and will avoid, where possible, the creation of blank walls adjacent to public spaces.



REAR ACCESS PATHS

Back gardens will be secure and any access to the rear of properties will be gated. However, this will be further developed through reserved matters planning applications.

CLIMBING AIDS

Boundaries will be designed so as not to provide climbing aids to gain access into properties. It is not possible to explore this level of detail given the outline nature of the planning application and supporting material. However, this will be further developed through reserved matters planning applications.

PARKING

The development has been designed to provide for vehicle parking in either garages or hard standing areas within the dwelling boundary. If communal parking areas are needed, these will be in small groups near homes with natural surveillance or in parking courts. This will be explored in more detailed plans in reserved matters planning applications. Adequate space for cycle parking will be designed in accordance with the advice given by Secured by Design Sussex County Council guidance.

LANDSCAPE PLANTING

The proposals include planting to create attractive and safe new environments without impeding natural surveillance. A detailed design and management plan for the open space will be agreed with West Sussex County Council. The detailed design for landscape will be further developed through reserved matters planning applications.

LIGHTING

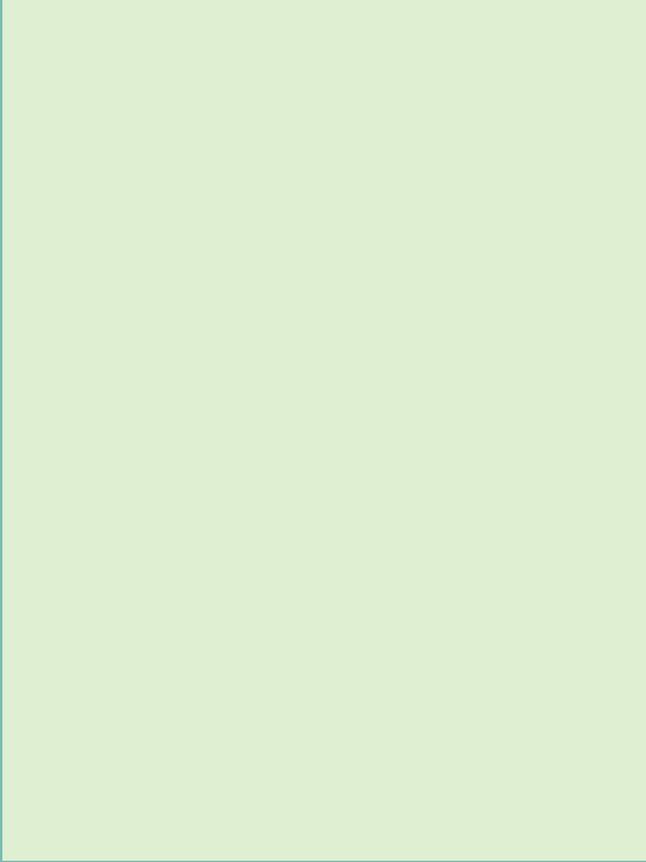
Street lighting will be designed according to Secured by Design principles to ensure public spaces are appropriately lit. Where possible, environmentally friendly light source will be used. The development will provide lighting of external doors, car parking and garage areas. The detailed design for lighting will be further developed through reserved matters planning applications.

DWELLING ENTRANCES

The development will be designed with front doors that are visible from the public realm and promote natural surveillance. The detailed design for dwelling entrances will be further developed through reserved matters planning applications and will seek to locate communal entrance doors centrally and that they are visible from the public realm.

WINDOWS

It is not possible to explore issues associated with windows given the outline nature of the planning application and supporting material. However, the general principles for windows will be further developed through reserved matters planning applications having regard to Secured by Design principles. We acknowledge that proposals should ensure that ground floor, basement and easily accessible windows are secured.



CHAPTER 05
CONCLUSION



CONCLUSION

The purpose of this Design & Access Statement (DAS) is to outline the development principles for the site and support the application for Outline Planning Permission.

The masterplan presented in this DAS adheres to current planning and design policies.

The site spans approximately 13.32 hectares and is capable of accommodating a diverse mix of up to 150 new homes and a 65 bed care home at a location inherently sustainable. It also incorporates biodiverse open spaces, preserved trees and hedgerows, a significant amount of countryside open space, community orchards, a children's play spaces (that includes one NEAP, one LEAP and two LAPS), a surface water drainage system, and a network of footpaths and cycle routes.

The development strives to enhance character and quality through its urban design approach. The masterplan reflects careful consideration of the site's constraints, opportunities, and local context, emphasising compatibility with the distinct character of Crawley Down.

This DAS provides a clear explanation of how the masterplan was shaped by local context and stakeholder input. Inclusive design is a core element of the development, featuring publicly accessible landscapes and well-connected pedestrian and cycling pathways that establish new connections and walking loops within the surrounding area.



SUMMARY OF BENEFITS TO THE FUTURE AND EXISTING LOCAL COMMUNITY:

- High-quality new homes, including affordable properties that increase opportunities for home ownership.
- A design that respects the character of Crawley Down.
- New publicly accessible open space that encompasses a significant amount of countryside open space.
- A high standard of design and construction that enhances residential amenity.
- A sustainable and active travel strategy that includes a network of off-road pedestrian and cycle paths.
- The creation of new employment opportunities through the proposed housing development during the construction phase.
- Additional Council Tax revenue, along with the New Homes Bonus.
- The provision of a children play space and informal areas for play.
- New community orchards
- The protection and enhancement of existing landscape features and biodiversity habitats.

Overall, the DAS provides a clear overview of the development principles, site characteristics, and the positive benefits it aims to bring to the local community of Crawley Down.

