

**Revised Planning Statement/Design and Access Statement/Heritage  
Impact Assessment for the proposed project to complete Roofing  
Upgrades and Associated Works**

**At**

**St Marks Church of England Primary School, Brantridge Lane,  
Staplefield, West Sussex, RH17 6EN**

**May 2025**



## Summary

St Marks C.of.E Primary school is a main stream school based in Staplefield, West Sussex, with pupils from ages 4-11.

This application relates to revised details in line with the existing planning and listed building consent approval, see [DM/24/1052](#). The scope of works is to undertake roofing works to a valley section in the centre of the original school house building.

The works are required in order to avoid further water ingress and remediate issues with damp to the numerous areas in the building to include corridor spaces and classrooms and provide suitable and safe access to the roof areas so that they can be properly maintained.

The site is a Grade II listed building.

## Supporting information

This statement is to be read in conjunction with supporting drawing documents as listed below;

5227842-004 St Marks CofE – LBC Drawing Package P1.PDF

- DR-001 – Location & Block Plan
- DR-002 – Site Access Plan
- DR-100 – Scope of Works
- DR-102 – Existing & Proposed Roof Layout/Plan
- DR-103 – Existing & Proposed Elevations
- DR-201 – Existing & Proposed Roof Sections

See existing Planning and Listed Building Control Approval for the original scope of works at [DM/24/1052 | The proposed project is to undertake roofing works to include the replacement of associated window locally to the roof areas. | St Marks Primary School Brantridge Lane Staplefield Haywards Heath West Sussex RH17 6EN](#)

## Contact Details

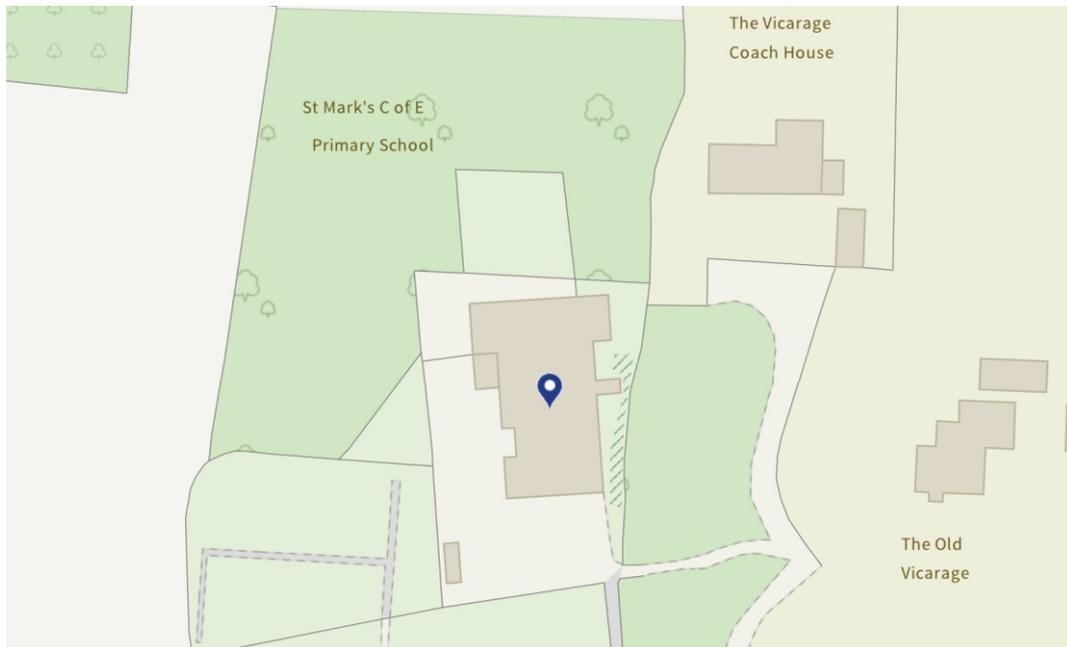
School: St Marks Church of England Primary School, Brantridge Lane, Staplefield, West Sussex, RH17 6EN.

Tel: 01444 400398 Contact: Laura Kelsey (Head Teacher): [head@st-marks.w-sussex.sch.uk](mailto:head@st-marks.w-sussex.sch.uk)

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## Site Location and Surroundings

The school is located within Staplefield, Haywards heath within a rural village area set between two large villages (Cuckfield and Handcross). It was a designated Conservation Area in 1984. Please see drawing 'DR001-Location & Block Plan' provided with the application.



## Application Site

The proposed works areas are shown in drawings DR-100, DR-101 & DR-102 and include;

- 1) External roof areas to include existing flat roof (Marked 'Flat Roof') and pitched roof and valley area (Hatched blue).

## External Roof Areas

Photographs of this area are shown below and on the following pages.



*External images of valley section prior to the works taking place.*



*External images of valley section upon completion*



*External image of roof location from playground.*

## **Application Design**

The proposal is to complete remedial works to include the upgrade of areas of the roof, following a number of issues on the site with water ingress and damp.

The original form of the roof, with a slender valley gutter, does not provide adequate space to access the roof for maintenance or provide access equipment to maintain the large hall window which has fallen into disrepair as a result. Works have been undertaken to better drain the roof by increasing the size of the valley gutter, however this does not assist in providing adequate access to maintain the roof and prevent leaks or look after external timber elements. This application/ project looks to remedy this by providing better and safer access for these activities to be carried out more frequently at little cost to the school.

The proposed works are to raise the existing roof height, where there is currently a valley, to provide a wide walkway for maintenance and prevent future blockages. It is also proposed that the single ply membrane adjacent is to be replaced alongside this as a number of defects have been noted, including poor detailing, a lack of upstands and falls which are not steep enough to move the rainwater to the outlet resulting in ponding. The works also require two skylights to be removed, one reinstated like-for-like on a taller upstand and the other replaced in a conservation aluminium framed multi-paned unit in the same position as the old, but to a smaller aperture and on an upstand rather than within the tiled finish.

The works will also include replacement of internal ceiling finishes were damaged within the corridor section, subsequent decorations internally (to ceilings) and externally to the hall window as well as replacement lighting in the corridor.

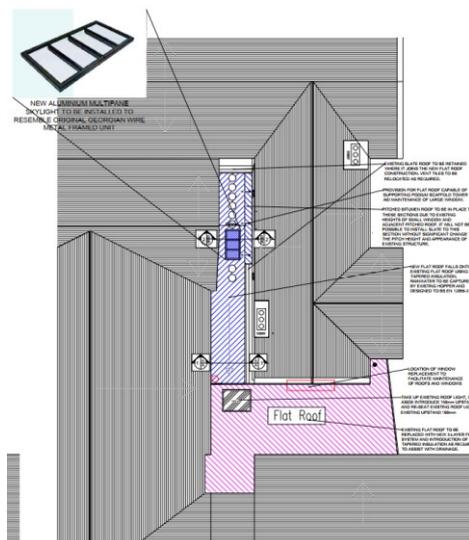
## External Flat Roof Works

The proposal comprises of two elements of roofing upgrades to the site based in similar localities, the existing single ply flat cold roof and the valley section (Marked 'Flat Roof' DR-102'.

The existing single ply flat roof area has been identified to be in presenting a number of internal leaks below within corridor and classroom areas. It is believed the system (single ply roof) originally specified was not adequate for the purpose of the roof area and has since failed. As a result numerous areas beneath the flat roof have moisture present, damages internal finishes and decorations and attributing to wet rot to structural timbers within the roof structure.

A new bituminous felt covering, including VCL and insulation to existing flat roofed area, improving the lead flashing details and slate upstand details to comply with BS 6229 is proposed to be completed to the flat roof area.

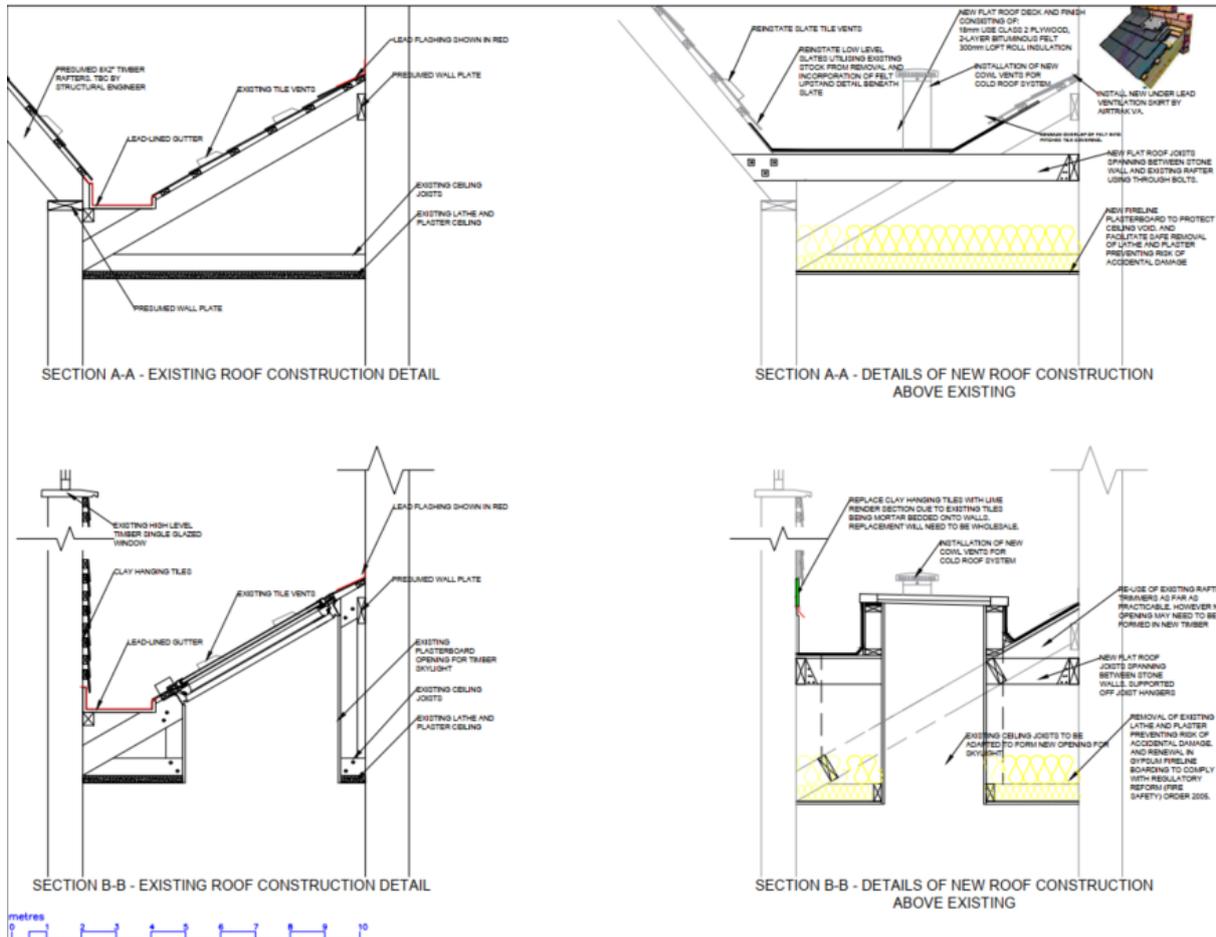
The valley gutter section (snippet below from Drawing DR-002), is also presenting signs of water ingress internally in numerous areas. This is believed to be as a result of issues with the original design suitability presenting some problematic detailing, alongside problems with the school being able to maintain the area, due to the access to the roof alongside limited existing valley space. A number of areas within the corridor can be seen showing water ingress damage to ceiling and wall finishes as well as structural timbers within the roof void.



### *Location of Valley & Flat Roof Works.*

Not only is the structure being undermined through the presence of water ingress but damage has also occurred to a number of items of the schools to include teaching books with a value of over £1000.00 that have been required to be replaced. Photos of the damage can be seen on the following pages.

The assumed existing build-up of the valley section and new works proposals has been detailed in drawing DR-002 (snippet below), however following completion of opening up works the exact details will be known. Works include raising the existing roof height, where there is currently a valley, to provide a wide walkway for maintenance and prevent future blockages.



*Assumed existing valley roof build up and proposed.*



*Moisture present from water ingress to structural deck and timbers below flat roof areas*



*Water ingress presenting staining to ceiling finish*



*Ceiling finish damage from water ingress above book shelf area.*



*Ceiling following installation completion of the works*



New Rooflight Opening

## Proposed schedule of works

The Schedule of works proposed at this point are noted on the following pages.

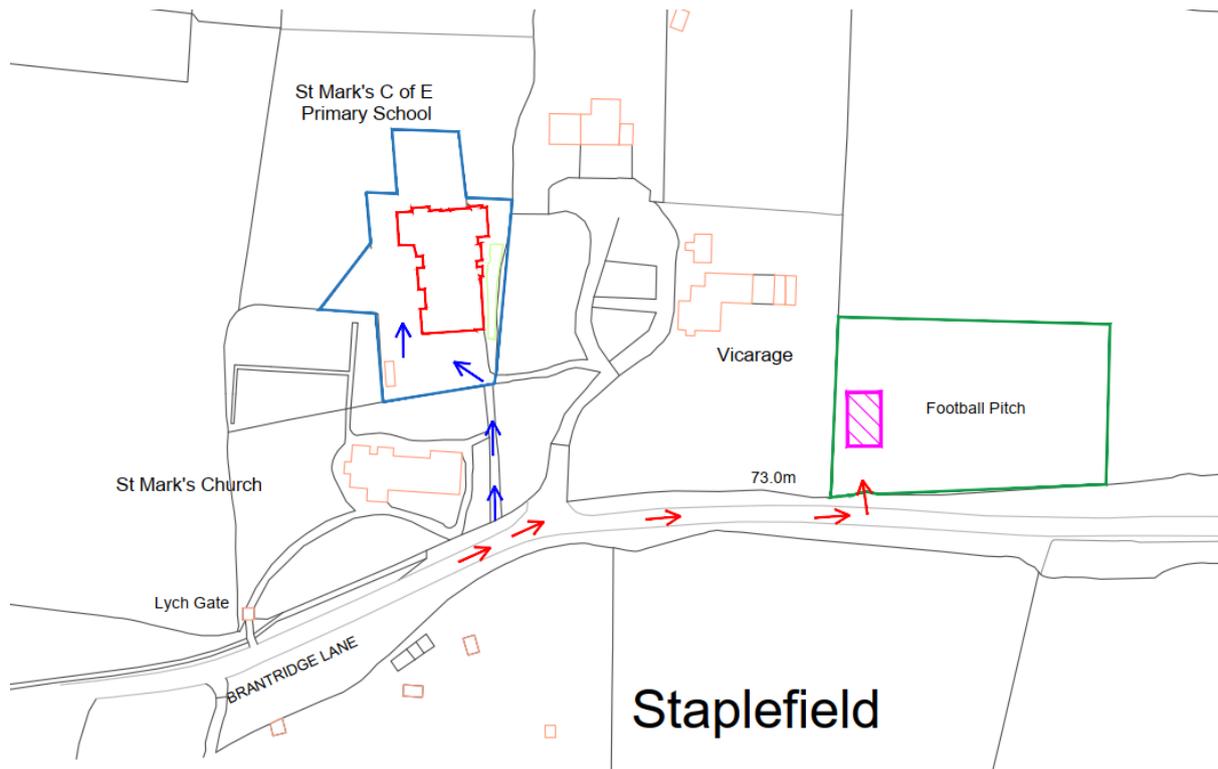
### Flat Roof and Valley Areas – Proposed Schedule of Works

Item
1) Strip-up existing single ply flat roof covering back to the deck to uncover any damaged deck material and introduce compliant falls.
2) Replace upstand detail to existing skylight above kitchen corridor to allow for 150mm upstand and reinstate existing roof lantern.
3) Lay new bituminous felt covering, including VCL and insulation to existing flat roofed area, improving the lead flashing details and slate upstand details to comply with BS 6229.
4) Remove area of slate tiled roof (including skylight) to facilitate the installation of a new flat roof section above the existing height. Setting aside slates for re-use in both the reinstatement of this project and future maintenance of the school.
5) Install new flat roof joists to allow for 1 meter width of flat roof allowing for access platforms to redecorate and repair hall window. As well as clear gutters etc.
6) Install new flat roof system, two-layer bituminous felt covering. Allowing for any future leaks to be claimed via the manufacturer's warranty rather than at the expense of the school.
7) Install loft roll insulation to new roof construction above corridor.
8) Install new aluminium multi-pane skylight to resemble the original skylight removed circa 2018.
9) Remove section of clay hanging tile and reinstate to suit new roof level.
10) Reinstall roof slates to new roof level, incorporating bituminous upstand detail beneath the slate
11) Removal of existing lathe and plaster ceiling finish under controlled conditions to ensure no spontaneous collapse as a result of water damage or the works.
12) Trimming out of existing ceiling joists and rafters to suit new skylight.
13) Installation of new vapour open tape and jointed plasterboard ceiling to Corridor 007 to ensure 30-minute fire protection to new flat roof structure. This item also includes the skylight cheeks.
14) Replacement light fittings to corridor.

## Project Timelines

The proposed project was commenced (under [DM/24/1052](#)), in Summer 2024. This application seeks approval for amended details, which following consultation with the conservation officer on site, requires a further application to confirm on site changes required following opening up of the roof.

For the purpose of the application, the contractor's compound was located within the schools playing field as shown below (Snippet below);



*Proposed works areas and compound location.*

The works will have a dedicated H&S consultant appointed as the Principal Designer and adhere to all Construction Design Management Regulations (2015) requirements. The contractor will act as the Principal Contractor and complete works in line with CDM (2015) to include the completion of the Construction Phase Plan which will be reviewed by the H&S consultant. The CPP will be a 'live' document and updated in the event changes to programme in particular resulting in term time working are required.

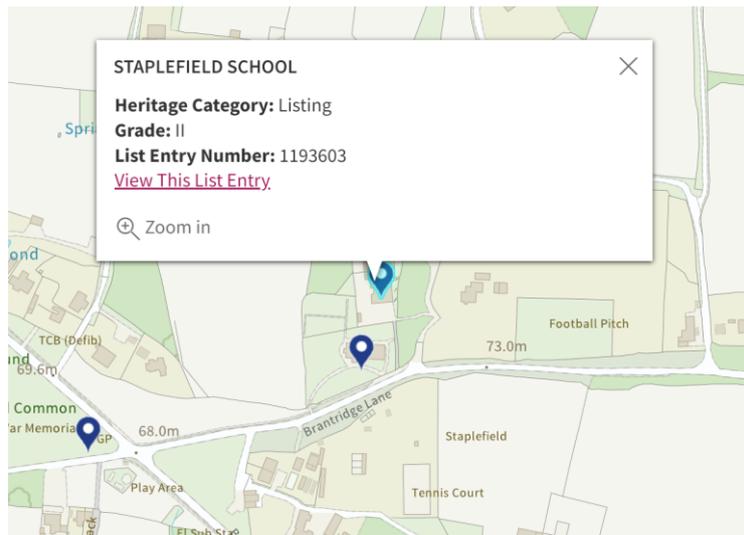
## Noise Impact

There will be no additional noise impact for local residents. The amount of children using the site will remain the same, the proposed works will just provide an improved and safe environment for the children and staff to use and help to ensure the longevity of the building and its historic finishes.

## Heritage Impact Assessment

This section details further information on the site in regards to the heritage impact assessment of the proposed works. It has been compiled in what is believed to be a proportionate manner in relation to the proposed works and site itself.

The application site is a grade II listed building. The listing information below is taken from 'Historic England' website;



Location – Statutory Address: STAPLEFIELD SCHOOL, BRANTRIDGE LANE

The building or site itself may lie within the boundary of more than one authority.

County: West Sussex.

District: Mid Sussex (District Authority).

Parish: Ansty and Staplefield.

National Grid Reference: TQ2779428238.

Legal - This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Details - CUCKFIELD RURAL BRANTRIDGE LANE 1. 5405 Staplefield School, Staplefield TQ 22 NE 10/309 II

2. Mid C19. Probably by Benjamin Ferrey. One storey. Four windows. Stone. Slate roof. Windows of paired lights with trefoil-shaped heads.

Listing NGR: TQ2779428238.

Proposed works within this planning and design and access statement have in the opinion of the applicant, been approached with a sensitivity. Conservation and heritage principles have been researched and demonstrated within works methodologies so to protect the existing asset and its conservation and heritage value.

The focus of the proposed works are to ensure the existing building stays in a condition of good repair and if fit for purpose, whilst keeping the historic significance. Whilst the areas of works are not directly and easily visible from external viewing points, materials and workmanship have been proposed to enable aesthetic and sympathetic considerations whilst providing solutions to enable a long term solution that will reduce damage caused by the current issues with water ingress on the site.

Consideration has also been taken in regards to future maintenance of these areas, to avoid the existing problem that may of attributed to the buildings damp and water ingress problems that are looking to be rectified within this project.

The site has clear significance from a conservation and heritage perspective. Outline works proposals have however carefully and sensitively considered the original structure and finishes and as a result, proposals will in the applicants opinion, have minimal significant negative impact on the original building.

Proposed works are to ensure the longevity of the building on the site and ensuring its communal value is maintained. Failure to undertake remedial and repair works may result in school closure by the loss of accommodation to include teaching and office space.