

Heritage Assessment.

Land at Foxhole Farm, Bolney.

On behalf of Wates Developments Limited.

Date: April 2025 | Pegasus Ref: P21-0653





Document Management.

Version	Date	Author	Checked / Approved by:	Reason for revision
1	20 th December 2025	JK/SG	GS	-
2	14 th March 2025	SG	GS	Updated concept layout
3	11 th April 2025	SG	GS	Updated Illustrative Masterplan



Contents.

1. Introduction.....	9
2. Proposed Development and Scheme Evolution.....	11
3. Methodology.....	14
4. Site Description and Planning History.....	17
5. Policy Framework.....	27
6. Archaeological Background.....	29
7. Setting Assessment.....	30
8. Conclusions.....	96

Appendices contents.

Appendix 1: Assessment Methodology.....	100
Appendix 2: Pre-application Enquiry response from Conservation Officer.....	107
Appendix 3: Legislative Framework.....	108
Appendix 4: National Policy Guidance.....	110
Appendix 5: Figures.....	117
Appendix 6: Relevant Development Plan Policies.....	119
Appendix 7: List Entries.....	125
Appendix 8: Site Assessment Pro-forma: Land at Foxhole Farm, Bolney (ref.1120).....	127

Plates:

Plate 1: Site Location Plan.....	9
Plate 2 Outline Masterplan.....	11
Plate 3: Map showing fields within site numbered.....	17
Plate 4: Looking south down Foxhole Lane towards the western boundary of the site (Photo location plan ref. A).....	18
Plate 5: Looking east towards Field 5 from public footpath north of the site (Photo location plan ref. B).....	18
Plate 6: Looking north across Field 4 towards the northern boundary of the site(NGR: TQ25942291) (Photo location plan ref. C).....	19
Plate 7: Looking east across Field 5 from the western boundary of Field 5 (NGR: TQ258231) (Photo location plan ref. D).....	19
Plate 8: Modern equipment within site, along the northern boundary (NGR: TQ260231) (Photo location plan ref. E).....	19
Plate 9: Looking north across the Field 3 (NGR: TQ259226) (Photo location plan ref. F).....	20
Plate 10: Southeast corner of Field 3 (Photo location plan ref. G).....	20
Plate 11: Looking south across Field 2 (NGR: TQ258226) (Photo location plan ref. H).....	21
Plate 12: View north from Field 1 within site (NGR: TQ258224) (Photo location plan ref. I).....	21
Plate 13: 1842 Tithe map, site outlined in black.....	21
Plate 14: 1842 Tithe map showing land ownership and occupation.....	22
Plate 15: Extract of 1879 map, site outlined in black.....	23
Plate 16: Extract of 1899 map, site outlined in black.....	23
Plate 17: Extract of 1912 map, site outlined in black.....	24
Plate 18: Extract of 1946 map, site outlined in black.....	24
Plate 19: 2001 Google Earth Pro Satellite Image, site outlined in black.....	25
Plate 20: 2012 Google Earth Pro Satellite Image, site outlined in black.....	25
Plate 21: 2022 Google Earth Pro Satellite Image, site outlined in black.....	26
Plate 22: Looking north along The Street towards the Grade II Listed Daltons, circled in yellow.....	31
Plate 23: Looking west from The Street towards Daltons.....	32

Plate 24: 1879 map showing Dalton’s Farm, Dalton Farmhouse circled in yellow.....	32
Plate 25: 1946 map showing Dalton’s Farm, Dalton Farmhouse circled in yellow.	32
Plate 26: Looking northeast from northeast corner of the Site in Field 4.....	33
Plate 27: Looking southwest towards the Site from The Street, opposite Daltons.....	33
Plate 28: Looking east along Lodge Lane towards Durstons.....	34
Plate 29: Principal elevation of Durstons from Lodge Lane.....	34
Plate 30: Looking south along Lodge Lane towards Durston.....	34
Plate 31: 1842 Tithe map of Bolney, Durstons circled in yellow.	35
Plate 32: Looking north towards Lodge Lane.....	35
Plate 33: Looking west along Lodge Lane towards Tanglewood.....	36
Plate 34: Looking east along Lodge Lane towards Tanglewood, visible roof circled in yellow.	36
Plate 35: 1842 Bolney Tithe Map, Tanglewood circled in yellow.....	36
Plate 36: Potentially the west gable end of Tanglewood’s rear elevation.....	37
Plate 37: Booker’s Farmhouse.....	37
Plate 38: Barn to the North East of Booker’s Farmhouse.....	38
Plate 39: 1842 Bolney Tithe Map, Bookers Farmhouse circled in yellow, Barn circled in pink.	38
Plate 40: View east towards the Site from PRow within driveway of Farmhouse and Barn.....	39
Plate 41: View east along PRow towards the Site.....	39
Plate 42: Looking west towards Booker’s Farmhouse and Barn from Field 5 in the Site.....	39
Plate 43: Bolney Lodge from Foxhole Lane.....	40
Plate 44: Looking south along Foxhole Lane towards Bolney Lodge.....	40
Plate 45: 1842 Bolney Tithe Map, Bolney Lodge circled in yellow.....	41
Plate 46: 1842 Tithe map of Bolney, area shaded in purple shows land owned by Sir Henry Rycroft, site outlined in black.	41
Plate 47: 1879 map of Bolney Lodge.....	41
Plate 48: Looking north from northwest corner of Field 5, towards Bolney Lodge.....	42

Plate 49: Looking north from the west end of the PRoW.....	42
Plate 50: View 3: Panoramic view east of Foxhole Lane towards the northwestern section of the Site, Year 1.....	43
Plate 51: View 3: Panoramic view east of Foxhole Lane towards the northwestern section of the Site, Year 15.....	43
Plate 52: Looking north along Foxhole Lane towards Bolney Lodge Cottage.....	44
Plate 53: Earlier cottage.....	44
Plate 54: 1842 Bolney Tithe Map, Bolney Lodge Cottage circled in yellow.	45
Plate 55: Plan of the Church illustrating the phases of historic fabric (Source: Historic England, Card ref no: 5845_006).....	46
Plate 56: Lynch gate to churchyard.....	46
Plate 57: Entrance to Churchyard from The Street.	47
Plate 58: Looking northeast towards west elevation of the Church from lynch gate.....	47
Plate 59: Footpath west of the Church.	47
Plate 60: Approach to south elevation of the Church.....	48
Plate 61: South elevation of the Church.....	48
Plate 62: West and south elevations of the Church.....	48
Plate 63: North and east elevation of the Church.	48
Plate 64: East and south elevation of the Church.	49
Plate 65: Historic features such as stone above doorway engraved with the date 1718.....	49
Plate 66: 1842 Tithe apportionment showing site outlined in black, Bolney Conservation Area highlighted in purple, and the Church circled in yellow.	49
Plate 67: Looking northeast towards Bolney CoE School from the churchyard pathway north of the Church.	50
Plate 68: View west from the west elevation of the Church.....	50
Plate 69: View east from The Street towards the Church tower, circled in red.....	51
Plate 70: View of Church from Church Lane, east of churchyard.....	51
Plate 71: Looking south along The Street, positioned west of Rawson Hall.	52
Plate 72: Map with green dots approximately indicating areas with visibility of the Church from the site, Church circled in yellow.	52

Plate 73: (1) View southeast across the site towards the Church tower, circled in red (NGR: TQ25942311).....	53
Plate 74: (2) View southeast towards Church tower from southern field boundary of northeastern field parcel within the site, circled red (NGR: TQ26042291).....	53
Plate 75: (3) Looking east towards Church tower from field boundary east of Foxhole Farm, circled in red (NGR: TQ25982290).....	53
Plate 76: (4) Looking east from within the middle field parcel towards the Church tower, circled in red (NGR: TQ260228).....	53
Plate 77: (5) Looking east towards the Church from eastern site boundary, circled in red (NGR: TQ26052271).....	54
Plate 78: (6) Looking east towards the Church from the southeast corner of Foxhole Farm, circled in red (NGR: TQ259227).....	54
Plate 79: (7) Looking east towards the Church, circled in red, from the west boundary within Field 2 (NGR: TQ25792276).....	54
Plate 80: Looking west towards Field 3 of the site (circled in red) from the west churchyard pathway.....	56
Plate 81: Looking west towards Field 3 of the site (circled in red) from the principal elevation of the Church.....	56
Plate 82: Looking west towards Field 3 of the site (circled in red) from the cemetery grounds northwest of the Church.....	56
Plate 83: Looking west towards Field 3 of the site (circled in red) from the east churchyard pathway to the rear of the Church.....	57
Plate 84: View 6A: Panoramic view with redline of proposed housing, looking towards the site from the west of the Churchyard, Year 1.....	58
Plate 85: View 6A: Panoramic view with redline of proposed housing, looking towards the site from the west of the Churchyard, Year 15.....	58
Plate 86: View 6B: Panoramic view with redline of proposed housing, looking towards the site from the west of the Churchyard, Year 1.....	59
Plate 87: View 6B: Panoramic view with redline of proposed housing, looking towards the site from the west of the Churchyard, Year 15.....	59
Plate 88: Principal elevation of Walnut and Well Cottage, looking north along The Street.....	60
Plate 89: Principal elevation of Walnut and Well Cottage, looking south along The Street.....	61
Plate 90: Looking south along The Street towards north elevation of Walnut and Well cottages.....	61
Plate 91: 1842 Tithe map of Bolney, approximate location of Well and Walnut Cottages circled in yellow.....	61
Plate 92: Well and Walnut Cottages circled in yellow, and site outlined in black.....	62
Plate 93: Looking west from The Street, just north of Well and Walnut Cottage.....	63
Plate 94: Looking east towards rear gardens of Grade II Listed Cottages from within the site, circled in yellow.....	63
Plate 95 Looking east towards Well and Walnut Cottage from higher up within the site – only filtered view to roof possible.....	64
Plate 96: 1842 Tithe map showing Bolney Conservation Area, highlighted in pink.....	65



Plate 97: 1899 OS map showing Bolney Conservation Area, highlighted in pink.....	66
Plate 98: Looking west from The Street, opposite the Old Post Office.....	67
Plate 99 Looking west from The Street.....	67
Plate 100 Looking east to the Conservation Area from the central area of the site	67
Plate 101: View southwest towards the site from The Street, opposite Rawsons Hall.	68
Plate 102: Looking west along Lodge Lane from within Conservation Area.....	69
Plate 103: Looking east along Lodge Lane from within Conservation Area.....	69
Plate 104: Eastern entrance to public footpath from The Street.	69
Plate 105: View east towards Conservation Area from public footpath, along northern site boundary.....	70
<i>Plate 106: Looking southeast from eastern side of public footpath.</i>	<i>70</i>
Plate 107: View west from footpath out of the northern section of the Conservation Area towards the site.	71
Plate 108: View 4: Panoramic view south of the PRoW along the north boundary of the Site looking towards north section of the Site, Year 1.....	73
Plate 109: View 4: Panoramic view south of the PRoW along the north boundary of the Site looking towards north section of the Site, Year 15.	73
Plate 110: View 5: Panoramic view west from The Street along proposed pedestrian pathway to eastern site, Year 1.	74
Plate 111: View 5: Panoramic view west from The Street along proposed pedestrian pathway to eastern site, Year 15.	74
Plate 112: 2022 Google Earth Pro, Old Post Office circled in yellow.....	75
Plate 113: The Old Post Office, looking south along The Street.....	76
Plate 114: The Old Post Office, looking north along the street.....	76
Plate 115: 1842 Tithe Map, approximate location of The Old Post Office circled in yellow.	76
Plate 116: 1879 map of the Old Post Office, circled in yellow.	77
Plate 117: Glimpse of Old Post Office from Field 3 along eastern site boundary, circled in yellow.....	80
Plate 118: View towards Old Post Office from western site boundary within Field 3.....	80
Plate 119: Looking west from The Street by The Old Post Office.	81
Plate 120: 1842 Bolney Tithe Map, Bolney Place circled in yellow.	82
Plate 121: 1897 map of Bolney Place, circled in yellow.	82



Plate 122: 1912 map of Bolney Place, circled in yellow.	83
Plate 123: 1952 map of Bolney Place, circled in yellow.	83
Plate 124: Looking south from southern extent of Field 3, Bolney Place circled in yellow.	86
Plate 125: Looking southeast from western site boundary in Field 2, Bolney Place circled in yellow.	86
Plate 126: Looking east from western boundary of Field 2, Bolney Place circled in yellow.	87
Plate 127: Looking northeast from Field 1, Bolney Place circled in yellow.	87
Plate 128: Looking south from Cowfold Road towards northern elevation of Providence Church.	88
Plate 129: West elevation and churchyard from Bolney Chapel Road.	88
Plate 130: East elevation of the Church.	89
Plate 131: 1879 map, Providence Chapel circled in yellow.	89
Plate 132: Looking south from the northwestern corner of Field 2, Church circled in yellow.	93
Plate 133: Looking south from northern boundary of Field 1, Church circled in yellow.	94
Plate 134: Southern boundary of the site, Church circled in yellow.	94

1. Introduction

1.1. Pegasus Group have been commissioned by Wates Developments Limited to prepare a Heritage Assessment to consider the proposed mixed use development comprising residential development, education and community uses, as shown on the Site Location Plan provided at Plate 1.

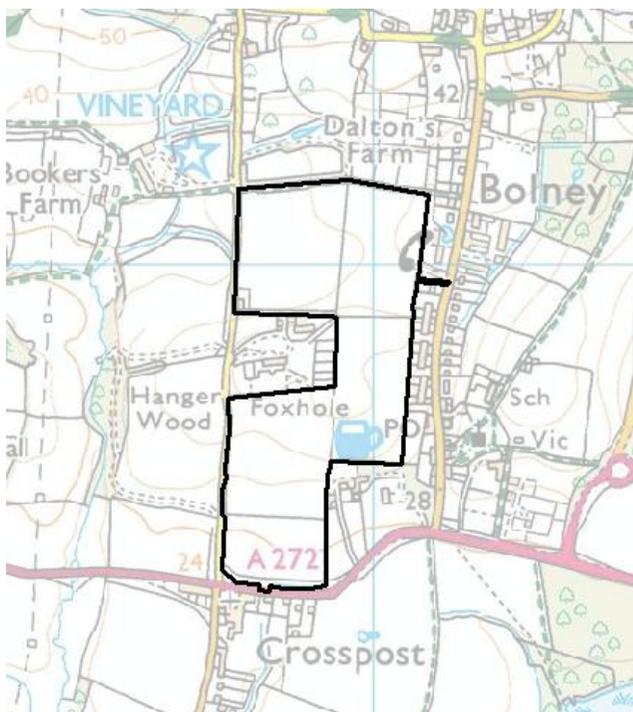


Plate 1: Site Location Plan

1.2. Pegasus Group have also provided information on heritage throughout the scheme design process.

1.3. The site comprises five fields of approximately 16.89 hectares, lying west of the residential development that exists along The Street, and is surrounded by pasture and woodland to the north, Foxhole Farm and agricultural land to the west, and further residential development to the south.

1.4. The site does not contain any statutorily Listed, or locally Listed Buildings, nor does it fall within the boundary of a Conservation Area. The site is located c. 25m west of the southern section of the Bolney Conservation Area and c.10m southwest of the northern section.

1.5. The Submission draft District Plan (2021–2039) includes the site in 'DPA14: Land at Foxhole Farm, Bolney' and allocates it for housing, education, and community use. This policy is discussed further in Section 7 and can be found in full in **Appendix 4**.

1.6. This Assessment provides information with regards to the significance of the historic environment to fulfil the requirement given in paragraph 207 of the Government's *National Planning Policy Framework* (the *NPPF*) which requires:

"...an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting".¹

- 1.7. In order to inform an assessment of the acceptability of the scheme in relation to impacts on the historic environment and archaeological resource, following paragraphs 212 to 215 of the *NPPF*, any harm to the historic environment resulting from the proposed

development is also described, including impacts on significance through changes to setting.

- 1.8. As required by paragraph 207 of the *NPPF*, the detail and assessment in this Report is considered to be "*proportionate to the assets' importance*".²

¹ Ministry of Housing, Communities & Local Government (MHCLG), *National Planning Policy Framework (NPPF)* (London, December 2024), para. 207.

² MHCLG, *NPPF*, para. 207.

2. Proposed Development and Scheme Evolution

- 2.1. The application seeks Planning Permission for the following proposed mixed-use development over 16.89 hectares of land in Bolney.
- 2.2. The description of development is as follows:
- 2.3. *Outline planning application (appearance, landscaping, layout and scale reserved), for the erection of up to 200 dwellings; a community building (use class F1) encompassing land for education provision, together with associated access, ancillary parking and landscaping; the creation of a vehicular access point from the A272 Cowfold Road, and pedestrian and cycle only access to The Street; and creation of a network of roads, footways, and cycleways through the site; together with the provision of countryside open space, children's play areas, community orchard, and allotments; sustainable drainage systems and landscape buffers.*
- 2.4. The proposals are detailed on the following plans which form the application package and which this assessment considers:
 - Illustrative Masterplan– P20074–RFT–XX–XX–DR–A–0101
- 2.5. The setting of heritage assets in the vicinity of the site has been a key driver in the formulation of this masterplan. Specifically, the placement of open space within it has responded to the settings of the Bolney Conservation Area, the Listed Church of St Mary Magdalene and the Listed Well and Walnut Cottage.



Plate 2: Illustrative Masterplan

- 2.6. Initial site visits were made in 2021 to assess the visibility of the site from the Conservation Area, particularly from the Church and churchyard and from the vicinity of Well and Walnut Cottage. The visibility of these assets from the site was also considered.
- 2.7. These considerations led to the careful placement of development within the site to avoid the higher ground in the central area, which there was glimpsed visibility of from the Churchyard. This area also has greatest proximity to Well and Walnut Cottage, and there is also a perception of the central site areas as open space in filtered views looking westwards from The Street.
- 2.8. The placement of open space in the central area of the site was seen as an opportunity to open up publicly accessible views to the church and mitigate impacts on the heritage assets, discussed in further detail below.
- 2.9. Consideration was also given to the experience of the footpath 44Bo which leads westwards from the southern end of the northern part of the Bolney Conservation Area (on the northern edge of the site), with development set back from the north-eastern corner of the site in the evolving masterplan. The placement of the access road within the central part of the site was initially set low down on the eastern side of the site, to ensure this was not visible in views from the churchyard.
- 2.10. Technical information on heritage within the site was prepared in support of its proposed allocation in the Local Plan, and the site now has a draft allocation.
- 2.11. The consideration of the site in the Local Plan Site Selection Pro-Formas classed the site as 'Neutral' with regards to Listed Buildings and Conservation Areas, anticipating less than substantial harm ('low to mid') for the Listed buildings and less than substantial harm ('mid') for the Conservation Area. This was seen to be capable of further mitigation through design.
- 2.12. The subsequent site specific Policy DPA14 of the emerging Local Plan has provided further guidance on heritage, including requiring that a development is informed by a Heritage Impact Assessment, and provides an appropriate layout and design which protects the setting of nearby Grade II listed building, 'Walnut and Well Cottage', and Bolney Conservation Areas (North and South). The draft policy also stipulates the location of a country park and requires the character of the footpath to the north of the site is retained. These requirements are reflected in the masterplan.
- 2.13. The masterplan has been refined in response to the policy requirements, and also constraints relating to other disciplines, as further technical assessments have been undertaken.
- 2.14. The masterplan has also been shaped through pre-application discussions with the LPA on 20th January 2025, with a formal response provided subsequently (a full copy of the pre-application enquiry response can be found in **Appendix 2**)
- 2.15. With regards to heritage matters, concerns were raised on the placement of the road close to the western edge of the southern part of the Conservation Area, and this has subsequently been moved westwards, carefully balancing the physical distance from heritage assets and the elevation of the routeway and thus its potential

visibility in views from the churchyard. This has been an iterative process with changes to layout and modelling of the feature in views and further refinement, see Photomontages 6A and 6B (Plate 84 to Plate 87).

- 2.16. Further screening through the planting of appropriate vegetation was also requested in the pre-application discussions, and has been incorporated into the scheme.

- 2.17. **Section 7** of this Report presents an analysis of the impact of the proposed development on identified heritage assets noted above, as well as further assets identified in the pre-application discussions with the LPA.

3. Methodology

- 3.1. The aims of this Report are to assess the significance of the heritage resource within the site/study area, to assess any contribution that the site makes to the heritage significance of the identified heritage assets, and to identify any harm or benefit to them which may result from the implementation of the development proposals, along with the level of any harm caused, if relevant.
- 3.2. This assessment considers built heritage and summarises the archaeological resource. The Archaeological potential of the site is considered in the Archaeological Desk-based Assessment (ADBA) produced by RPS.

Sources

- 3.3. The following key sources have been consulted as part of this assessment:
- The West Sussex County Council Historic Environment Record (HER) for information on the recorded heritage resource within the vicinity of the site;
 - The National Heritage List for England for information on designated heritage assets;
 - Bolney Conservation Area Appraisal;
 - Historic maps available online;

- Aerial photographs available online via Historic England's Aerial Photo Explorer and Britain from Above;
- Historic England's Aerial Archaeology Mapping Explorer;
- Old photographs accessible via the Historic England Architectural Red Box Collection; and
- Other online resources, including Ordnance Survey Open Source data; geological data available from the British Geological Survey and Cranfield University's Soilscales Viewer; Google Earth satellite imagery; and LiDAR data from the Environment Agency.

3.4. Historic cartographic sources and aerial photographs were reviewed for the site, and beyond this where professional judgement deemed necessary.

3.5. Heritage assets in the wider area were assessed as deemed appropriate (see Section 7).

Site Visit

3.6. Site visits was undertaken by a Heritage Consultant from Pegasus Group in 2021, 2022, 2024 and 2025, during which the site and its surrounds were assessed.

Photographs

3.7. Photographs included in the body text of this Report are for illustrative purposes only to assist in the discussions of heritage assets, their settings, and views, where relevant. Unless explicitly stated, they are not accurate visual representations of the site or development proposals nor do they conform to any standard or guidance i.e., the Landscape Institute Technical Guidance Note 06/19. However, the photographs included are intended to be an honest representation and are taken without the use of a zoom lens or edited, unless stated in the description or caption.

Assessment Methodology

3.8. Full details of the assessment methodology used in the preparation of this Report are provided within **Appendix 1**. However, for clarity, this methodology has been informed by the following:

- ClfA's *Standard and Guidance for Historic Environment Desk-Based Assessment*;³
- *Historic Environment Good Practice Advice in Planning: 2 – Managing Significance in Decision-Taking in the Historic Environment* (hereafter *GPA:2*);⁴

- *Historic Environment Good Practice Advice in Planning Note 3 (Second Edition) – The Setting of Heritage Assets*, the key guidance of assessing setting (hereafter *GPA:3*);⁵
- *Historic England Advice Note 12 – Statements of Heritage Significance: Analysing Significance in Heritage Assets* (hereafter *HEAN:12*);⁶ and
- *Conservation Principles: Policies and Guidance for the Sustainable Management of the Historic Environment*.⁷

Consideration of Harm

3.9. It is important to consider whether the proposals cause harm. If they do, then one must consider whether the harm represents "substantial harm" or "less than substantial harm" to the identified designated heritage assets, in the context of paragraphs 214 and 215 of the *NPPF*.⁸ With regard to non-designated heritage assets, potential harm should be considered within the context of paragraph 216 of the *NPPF*.⁹

³ Chartered Institute for Archaeologists (ClfA), *Standard and Guidance for Historic Environment Desk-Based Assessment* (revised edition, October 2020).

⁴ Historic England, *Historic Environment Good Practice Advice in Planning: 2 – Managing Significance in Decision-Taking in the Historic Environment (GPA:2)* (2nd edition, Swindon, July 2015).

⁵ Historic England, *Historic Environment Good Practice Advice in Planning Note 3 – The Setting of Heritage Assets (GPA:3)* (2nd edition, Swindon, December 2017).

⁶ Historic England, *Historic England Advice Note 12 – Statements of Heritage Significance: Analysing Significance in Heritage Assets (HEAN:12)* (Swindon, October 2019).

⁷ English Heritage, *Conservation Principles: Policies and Guidance for the Sustainable Management of the Historic Environment* (London, April 2008).

⁸ MHCLG, *NPPF*, paras. 214 and 215.

⁹ MHCLG, *NPPF*, para. 216.

- 3.10. The PPG clarifies that within each category of harm ("*less than substantial*" or "*substantial*"), the extent of the harm may vary and should be clearly articulated.¹⁰
- 3.11. The guidance set out within the PPG also clarifies that "*substantial harm*" is a high test, and that it may not arise in many cases. It makes it clear that it is the degree of harm to the significance of the asset, rather

than the scale of development which is to be assessed.¹¹ In addition, it has been clarified in a High Court Judgement of 2013 that substantial harm would be harm that would:

"...have such a serious impact on the significance of the asset that its significance was either vitiated altogether or very much reduced."¹²

¹⁰ MHCLG, *Planning Practice Guidance (PPG)*, Paragraph: 018 (ID: 18a-018-20190723 Revision date: 23.07.2019).

¹¹ MHCLG, *PPG*, Paragraph: 018 (ID: 18a-018-20190723 Revision date: 23.07.2019).

¹² EWHC 2847, R DCLG and Nuon UK Ltd v. Bedford Borough Council.

4. Site Description and Planning History

Site Description

- 4.1. The site comprises five fields located west of residential settlement along The Street in Bolney. The fields will be referred to by their number for ease when discussing the site throughout this assessment as illustrated on Plate 3. A photo location plan is also provided at Figure 3 in **Appendix 5**.



Plate 3: Map showing fields within site numbered.

- 4.2. The central area of the site, particularly along the field boundary between Field 4 and 3, is topographically higher. At the northern edge of the site levels reach c.37m aOD, these levels then rise to a maximum elevation of c.42m aOD at the centre of the site and then fall to around c.24m aOD on Cowfold Road to the south. The site is largely screened by trees in views from Foxhole Lane to the west in summer, although in winter when the vegetation is thinner filtered views of the site can be seen (Plate 4).



Plate 4: Looking south down Foxhole Lane towards the western boundary of the site (Photo location plan ref. A).

- 4.3. A PRoW bounds the north of the site (Plate 5) which is enclosed by mature hedgerows which filter some views of the site, less so in winter.



Plate 5: Looking east towards Field 5 from public footpath north of the site (Photo location plan ref. B).

- 4.4. There is currently no public access into the site.
- 4.5. Foxhole Farm sits on elevated ground, with the land sloping downwards towards the northern boundary of the site. Foxhole Farm is surrounded by mature hedgerows and lies at an elevated position.



Plate 6: Looking north across Field 4 towards the northern boundary of the site(NGR: TQ25942291) (Photo location plan ref. C).



Plate 7: Looking east across Field 5 from the western boundary of Field 5 (NGR: TQ258231) (Photo location plan ref. D).

- 4.6. Modern electricity equipment is present within the site, close to the northern boundary (Plate 13).



Plate 8: Modern equipment within site, along the northern boundary (NGR: TQ260231) (Photo location plan ref. E).

- 4.7. Hedgerows also define the western boundary of the site along Foxhole Lane and to the south of Foxhole Farm.



Plate 9: Looking north across the Field 3 (NGR: TQ259226) (Photo location plan ref. F).

- 4.8. The southeast corner of Field 3 is lined by mature trees and hedgerows which prevent views towards The Street and south of the site (**Error! Reference source not found.**Plate 10).



Plate 10: Southeast corner of Field 3 (Photo location plan ref. G).

- 4.9. Mature trees and hedgerows surround the south parcel of the site which lies north of the A272, Field 1.



Plate 11: Looking south across Field 2 (NGR: TQ258226) (Photo location plan ref. H).



Plate 12: View north from Field 1 within site (NGR: TQ258224) (Photo location plan ref. I).

Site Development

- 4.10. The earliest map available of Bolney is the Tithe map of 1842. The Tithe shows the site comprised arable land parcels in the mid-19th century (Plate 13).



Plate 13: 1842 Tithe map, site outlined in black.

- 4.11. The map below indicates the extensive landholding of Richard Weekes in 1842 which also extended further southeast of the site and Bolney (Plate 14)

- 4.12. According to the 1842 Tithe map of Bolney, the majority of the site was owned by Richard Weekes and occupied by Noah Wells, as represented by the areas shaded in buff/yellow (Plate 14). This land was associated with Bolney Place, to the south-east of the site.
- 4.13. A western parcel within the site is shaded green which indicates its ownership by Anthony Hole and occupancy by Thomas Hole.
- 4.14. South of the site, a parcel of land is shaded light blue and is owned by Richard Weekes and occupied by Benjamin Davey.
- 4.15. Southeast of the site, the light pink parcel indicates ownership and occupancy by Richard Weekes.

- 4.16. In the late-19th century, Bolney appears in the 1879 OS Map as a dispersed settlement, with an area of settlement focussed to the south on the Parish Church of St Mary Magdalene and Bolney Place (Plate 15). The Church is annotated in this OS Map as 'St Mary Magdalen's Church'. A National School for both boys and girls was located to the north of the Parish Church and appears to date to the late 19th century.
- 4.17. The wider surroundings of the village were predominately characterised by agricultural fields of varying sizes, in addition to pockets of woodland.
- 4.18. The site appears to have comprised two fields at this time. A footpath was depicted from Bolney Place, south of the site, leading north towards the centre of the site.



Plate 14: 1842 Tithe map showing land ownership and occupation.

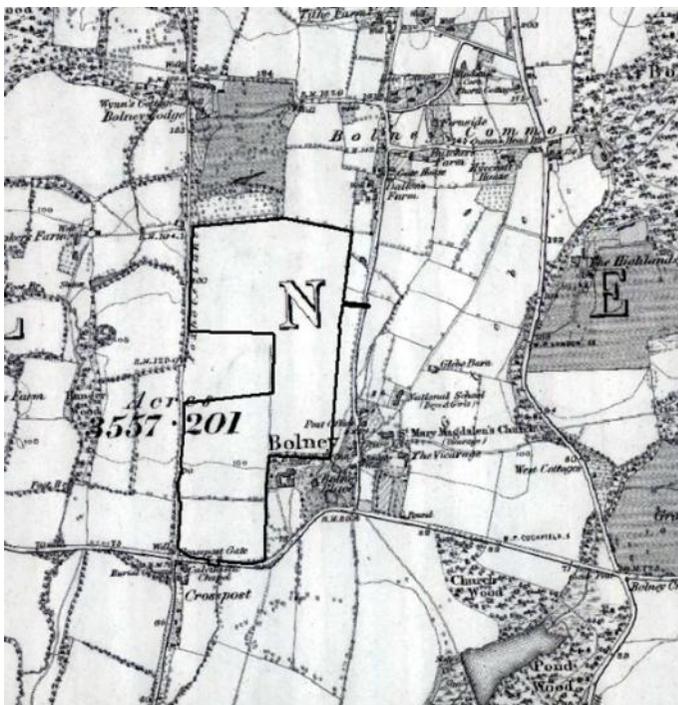


Plate 15: Extract of 1879 map, site outlined in black.

- 4.19. By the later 19th century, the site remained as two parcels. Additional development was depicted to the south of the site, although the majority of development remained around the core of Bolney (Plate 16).

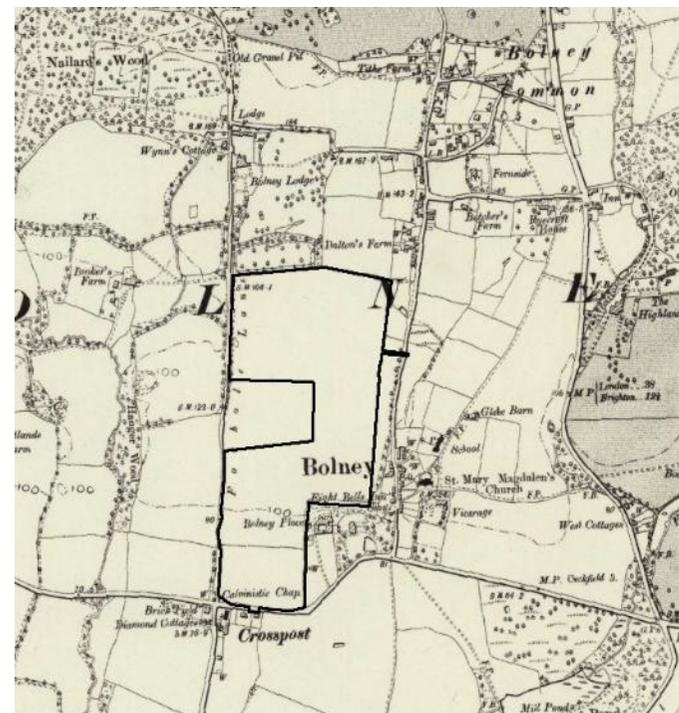


Plate 16: Extract of 1899 map, site outlined in black.

- 4.20. By the early 20th century, the site is divided into four parcels of land (Plate 17).

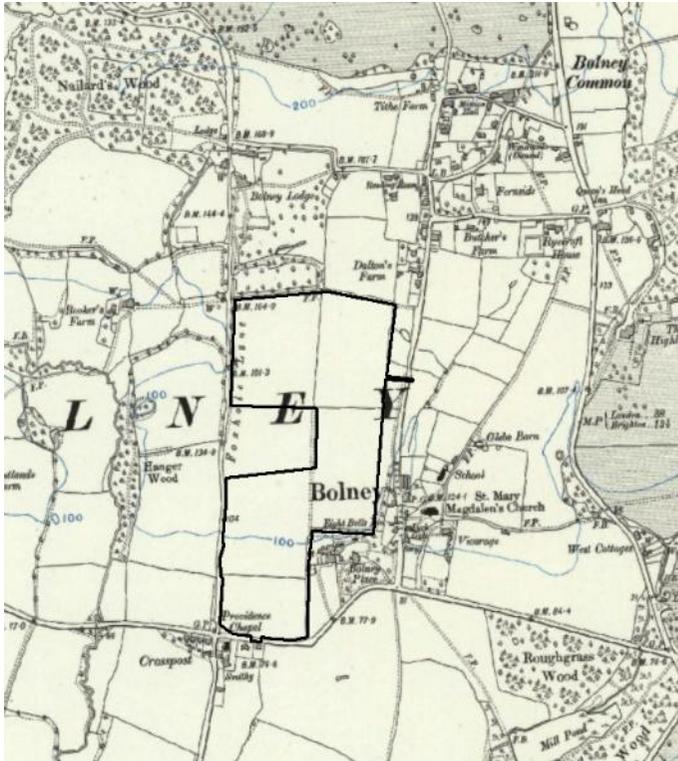


Plate 17: Extract of 1912 map, site outlined in black.

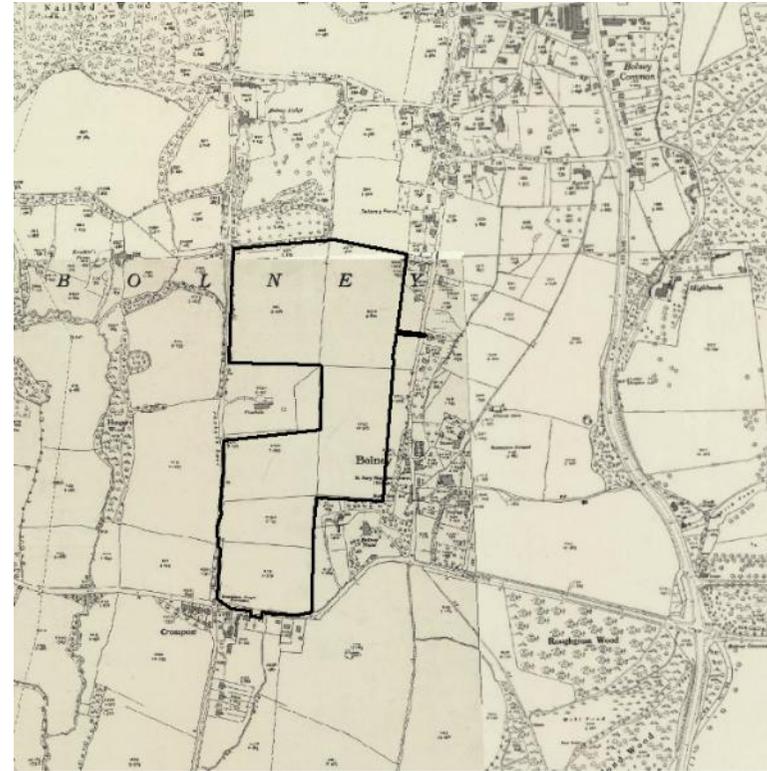


Plate 18: Extract of 1946 map, site outlined in black.

- 4.21. By the mid-20th century, the site has been further divided into six parcels. Foxhole Farm is first recorded on the 1946 map which suggests it was constructed in the first half of the 20th century. This farmstead is still in existence today and excluded from the site (Plate 18).



Plate 19: 2001 Google Earth Pro Satellite Image, site outlined in black.

4.22. Satellite imagery shows the site in the early 2000s as divided into five land parcels, due to the two land parcels south of Foxhole Farm being combined (Plate 19). From the 2000s onwards, development east of the site along The Street and south of Cowfold Road increased (Plate 20).



Plate 20: 2012 Google Earth Pro Satellite Image, site outlined in black.

4.23. Satellite imagery taken in 2022 shows little significant change to the site however within the wider area, the village expanded. During this period, the Site was also selected as an allocation site for housing, see **Appendix 8** (Plate 21).



Plate 21: 2022 Google Earth Pro Satellite Image, site outlined in black.

Planning History

- 4.24. A search of Mid Sussex District Council Planning applications shows only one record within the site area:
- **11/00052/FUL** | Equestrian manege for private use only | Foxhole Farm Foxhole Lane Bolney Haywards

Heath West Sussex RH17 5NB | Approved | 04 Apr 2011.

- 4.25. The above application relates to development associated with Foxhole Farm, however, is included within the site boundaries.
- **DM/24/2826** | EIA Screening request for Proposed Development of Land at Foxhole Farm Bolney, comprising demolition of existing barns and development of site so as to accommodate up to 200 houses with associated car parking, landscaping & community facilities including a circa 450sqm community building, encompassing land for education provision, together with separate play areas, informal outdoor space, allotments, a community orchard and 3.26 ha of countryside open space. | Land At Foxhole Farm Foxhole Lane Bolney Haywards Heath West Sussex RH17 5NB | EIA not required | 10 Dec 2024.
- 4.26. The above relates to the decision that an Environmental Impact Assessment would not be required for the proposed residential development within the site.

5. Policy Framework

Legislation

- 5.1. Legislation relating to the built historic environment is primarily set out within the *Planning (Listed Buildings and Conservation Areas) Act 1990*, which provides statutory protection for Listed Buildings and their settings and Conservation Areas.¹³
- 5.2. In addition to the statutory obligations set out within the aforementioned Act, Section 38(6) of the *Planning and Compulsory Purchase Act 2004* requires that all planning applications, including those for Listed Building Consent, are determined in accordance with the Development Plan unless material considerations indicate otherwise.¹⁴
- 5.3. Full details of the relevant legislation are provided in **Appendix 2**.

National Planning Policy Guidance

- 5.4. National Planning Policy guidance relating to the historic environment is provided within Section 16 of the Government's *National Planning Policy Framework (NPPF)*, an updated version of which was published in December 2024. The NPPF is also supplemented by the national *Planning Policy Guidance (PPG)* which

comprises a full and consolidated review of planning practice guidance documents to be read alongside the NPPF and which contains a section related to the Historic Environment.¹⁵ The *PPG* also contains the *National Design Guide*.¹⁶

- 5.5. Full details of the relevant national policy guidance are provided within **Appendix 3**.

The Development Plan

- 5.6. Applications for Planning Permission is currently considered against the policy and guidance set out within the Mid Sussex District Plan 2014–2031 adopted in March 2018, and the Bolney Neighbourhood Plan 2015–2031 adopted in September 2016.
- 5.7. A new District Plan 2021–2039 is currently under development and was submitted for examination on the 8th July 2024. The submission draft plan is available on the LPA website. The site is a draft allocation for development within the plan – Policy DPA14 refers.
- 5.8. Those policy requirements that relate to heritage include the following: Criterion 1 *“Informed by a heritage Impact Assessment, provide an appropriate layout and design which protects the setting of nearby Grade II*

¹³ UK Public General Acts, Planning (Listed Buildings and Conservation Areas) Act 1990.

¹⁴ UK Public General Acts, Planning and Compulsory Purchase Act 2004, Section 38(6).

¹⁵ Ministry of Housing, Communities & Local Government (MHCLG), *Planning Practice Guidance: Historic Environment (PPG)* (revised edition, 14th February 2024), <https://www.gov.uk/guidance/conserving-and-enhancing-the-historic-environment>.

¹⁶ Ministry of Housing, Communities & Local Government (MHCLG), *National Design Guide* (London, January 2021).

listed building, 'Walnut and Well Cottage', and Bolney Conservation Areas (North and South)" and Criterion 3 "Retain the character of footpath 44Bo which runs along the site's northern boundary and create a pedestrian

link from the site". These are discussed further in Section 7.

- 5.9. Details of the policy specific relevant to the application proposals are provided within **Appendix 4**.

6. Archaeological Background

- 6.1. The Archaeological potential of the site is considered in the Archaeological Desk-based Assessment (ADBA) produced by RPS, which discusses the recorded heritage resource within the site and its vicinity in order to identify any extant heritage assets within the site and to assess the potential for below-ground archaeological remains.
- 6.2. The ADBA has identified evidence of Medieval and Post Medieval land management, with evidence of field boundary and agricultural activities anticipated. Evidence of Post Medieval quarries for sand extraction were also identified in the ADBA, associated with brickmaking during this period.
- 6.3. RPS describe the Site has having an overall “*moderate predicted archaeological potential*” which the proposed

development is “*unlikely to have a substantial negative impact or cause significant harm on any underlying archaeological assets that may be present at the site.*”

- 6.4. Further detail of the Site’s archaeological potential can be found in the ADBA produced by RPS, which accompanies this submission.

7. Setting Assessment

Step 1

- 7.1. Step 1 of the methodology recommended by the Historic England guidance *GPA:3* (see 'Methodology') is to identify which heritage assets might be affected by a proposed development.¹⁷
- 7.2. Development proposals may adversely impact heritage assets where they remove a feature that contributes to the significance of a heritage asset or where they interfere with an element of a heritage asset's setting that contributes to its significance, such as interrupting a key relationship or a designed view.
- 7.3. Consideration was made as to whether any of the heritage assets present within or beyond the 1km study area include the site as part of their setting, and therefore may potentially be affected by the proposed development.
- 7.4. Assets in the vicinity identified for further assessment on the basis of potential historical functional associations and intervisibility with the site comprise:
- Grade I Listed Church of St Mary Magdalene (1193369)

- Grade II Listed Walnut and Well Cottage (1025760)
- Bolney Conservation Area

7.5. The Grade II Listed Walnut and Well Cottage and Bolney Conservation Area were referred to as heritage assets to be considered in policy DPA14, within the Submission Draft District Plan 2021–2039, which requires that an application is:

“Informed by a Heritage Impact Assessment, provide an appropriate layout and design which protects the setting of nearby Grade II listed building, ‘Walnut and Well Cottage’, and Bolney Conservation Areas (North and South).”

7.6. During pre-application discussions, the Conservation Officer also requested that the following buildings be assessed. As these are not designated heritage assets or locally listed, they will be assessed as non-designated heritage assets against Historic England's criteria for Local Heritage Listing¹⁸:

- The Old Post Office
- Bolney Place

¹⁷ Historic England, *GPA:3*, p. 4.

¹⁸ Historic England. 2021. Local Heritage Listing: Identifying and Conserving Local Heritage. Historic England Advice Note 7.

- Providence Chapel

7.7. The Conservation Officer also requested the assessment of further assets. Consideration was made of these in line with Step 1 of Historic England’s Guidance GPA3. This assessment concluded that the following assets are not potentially sensitive to the form of development proposed, and were thus excluded. This was largely on the basis of a lack of historical functional association and intervisibility with the site. These assets comprise:

- Grade II Listed Daltons (1354847)
- Grade II Listed Durstons (1354826)
- Grade II Listed Tanglewood (1025756)
- Grade II Listed Booker’s Farmhouse and Barn to the North East of Booker’s Farmhouse (1354825 and 1193271)
- Grade II Listed Bolney Lodge (1025754)
- Grade II Listed Bolney Lodge Cottage (1193259)

7.8. Justification for the exclusion of these assets from further setting assessment beyond Step 1 is provided below.

7.9. Maps of the above Designated Heritage Assets and Non-designated Heritage Assets can be found in **Appendix 5**,

Grade II Listed Daltons

7.10. The Grade II Listed Daltons (1354847) is located along the west side of The Street, c. 115m northeast of the Site, and is included within the northern section of Bolney Conservation Area. The residential building has two storeys and faces east, away from the site. It dates to the 18th century or earlier.

7.11. Daltons is positioned north of the historic core of Bolney, along the Street. Historic stone walls define its curtilage. A large front garden is located east of the asset and mature hedgerows provide screening towards the Street, looking east from the house. A driveway and front path provide access to the Listed Building from The Street (Plate 22 and Plate 23).



Plate 22: Looking north along The Street towards the Grade II Listed Daltons, circled in yellow.



Plate 23: Looking west from The Street towards Daltons.



Plate 24: 1879 map showing Dalton's Farm, Dalton Farmhouse circled in yellow.

7.12. The Bolney Tithe Map of 1842 shows Dalton Farmhouse was owned and occupied by Thomas Agate, who also owned and occupied several arable and pastoral fields west and north of the house and along the east side of The Street. He did not own or occupy any land within the site boundaries. There is no indication from any other sources consulted for this assessment of an historical association between the Grade II Listed Daltons and the Site.

7.13. 1879 mapping shows Dalton Farmhouse with associated outbuildings within its historic farmstead. By the 1960s, many had been removed, and those that remained were converted for residential use, such as The Byre to the south. Other surviving outbuildings associated with Daltons Farmhouse included a piggery within the gardens of the farmhouse (Plate 24 and Plate 25).

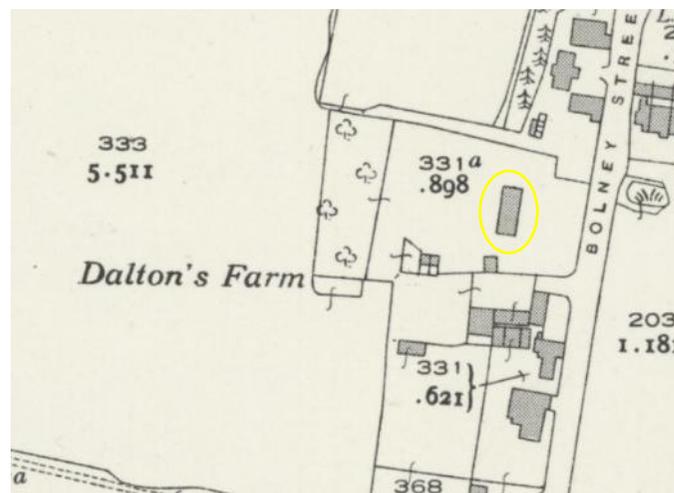


Plate 25: 1946 map showing Dalton's Farm, Dalton Farmhouse circled in yellow.

7.14. Daltons is best experienced from within its front garden, west of The Street as only at close range can its built form and features of special architectural and historic interest be discerned and appreciated.

7.15. There is no intervisibility between the Grade II Listed Daltons or any of its historically associated buildings which may be considered curtilage-listed, and the Site due to intervening vegetation which screens views, even when the trees are not in full leaf as illustrated below (Plate 26 and Plate 27).



Plate 26: Looking northeast from northeast corner of the Site in Field 4.



Plate 27: Looking southwest towards the Site from The Street, opposite Daltons.

7.16. The site is not considered to make any contribution through setting to the significance of the Grade II Listed Daltons, and so no further setting assessment is considered appropriate.

Grade II Listed Durstons

7.17. The Grade II Listed Durstons (1354826) is located south of Lodge Lane, c.235m north of the Site. It dates to the 17th century or earlier, with a modern extension to the east.

7.18. The L-shaped residential building comprises two storeys. The asset faces north, away from the Site, and is set back from Lodge Lane accessed via its gated driveway to the west of the house. A large garden lies

south of the house which overlooks the bend of Lodge Lane and bound by a low stone wall. Trees to the east of the front boundary provide seasonal screening of the building when approaching from the east along Lodge Lane. A mature hedgerow planted along the east side of Lodge Lane also screens views towards the asset (Plate 28 to Plate 30).



Plate 28: Looking east along Lodge Lane towards Durstons.



Plate 29: Principal elevation of Durstons from Lodge Lane.



Plate 30: Looking south along Lodge Lane towards Durston.

- 7.19. The Bolney Tithe Map of 1842 shows Durstons as owned by James Leppard and occupied by Shaw Baytup and described as 'Cottage and Gardens'. Neither individual owned or occupied any land within the site boundaries. There is no indication from any other sources consulted for this assessment of an historical association between the Grade II Listed Durstons and the Site (Plate 31).



Plate 31: 1842 Tithe map of Bolney, Durstons circled in yellow.

- 7.20. Grade II Listed Durstons is best experienced from within its curtilage south of Lodge Lane, as only at close range can its built form and features of special architectural and historic interest be discerned and appreciated.
- 7.21. There is no intervisibility between the Grade II Listed Durstons and the Site (Plate 32).



Plate 32: Looking north towards Lodge Lane.

- 7.22. The site makes no contribution through setting to the significance of the Grade II Listed Durstons, and so no further setting assessment is considered appropriate.

Grade II Listed Tanglewood

- 7.23. The Grade II Listed Tanglewood (1025756) is located south of Lodge Lane, c.245m north of the Site and within the boundaries of the northern section of Bolney Conservation Area. It dates to the 17th century or earlier.
- 7.24. Tanglewood is a two storey timber framed residential dwelling comprising two storeys. Tanglewood is facing north and set back from Lodge Lane by a driveway to the north of the house, bound by mature hedgerows which limit visibility of the asset from Lodge Lane (Plate 33 and Plate 34).



Plate 33: Looking west along Lodge Lane towards Tanglewood.



Plate 34: Looking east along Lodge Lane towards Tanglewood, visible roof circled in yellow.

7.25. The Bolney Tithe Map of 1842 shows Tanglewood as owned by Poltock and occupied by Harmes and described as 'House and Garden'. Both individuals owned and occupied the parcels of land immediately east and south however did not own or occupy any land within the site boundaries. There is no indication from any other sources consulted for this assessment of an historical association between the Grade II Listed Tanglewood and the Site (Plate 35).



Plate 35: 1842 Bolney Tithe Map, Tanglewood circled in yellow.

7.26. Grade II Listed Tanglewood is best experienced from within its curtilage south of Lodge Lane, as only at close range can its built form and features of special

architectural and historic interest be discerned and appreciated.

- 7.27. A large garden lies south of the house, which comprises the historically associated parcels of land located east and south of the house. However, the southern and western boundaries are lined with mature trees and hedgerows limiting visibility between Tanglewood and the Site. A glimpse of the roof of Tanglewood is shown in Plate 36..



Plate 36: Potentially the west gable end of Tanglewood's rear elevation.

- 7.28. Plate 36 shows there may be potential visibility of the uppermost elements of the asset in winter, from Field 3 of the Site. However, no built form is proposed in this area and there will be additional screening along the field boundary. No harmful visual change is anticipated.

- 7.29. The site makes no contribution through setting to the significance of the Grade II Listed Tanglewood, and so no further setting assessment is considered appropriate.

Grade II Listed Booker's Farmhouse and Barn to the North East of Booker's Farmhouse

- 7.30. The Grade II Listed Booker's Farmhouse (1354825) is located c.250m west of the Site and the Grade II Listed Barn (1193271) is located c.210m west of the Site. Both buildings are associated with Booker's Farm which is now associated with a vineyard.
- 7.31. The Farmhouse dates to the 17th century, is two storeys. It has been refronted with red brick on the ground floor and tile-hung above. The farmhouse faces southeast, towards the Site (Plate 37).



Plate 37: Booker's Farmhouse.

- 7.32. The Barn dates to the 15th century and is a timber framed building which was originally built for agricultural purposes associated with Booker's Farm. However, planning permission was granted in 1995 for conversion to residential use. The barn appears to face west (Plate 38).



Plate 38: Barn to the North East of Booker's Farmhouse.

- 7.33. The two Grade II Listed buildings are accessible via a PRoW west of Foxhole Lane which leads to a gravel driveway.
- 7.34. The Bolney Tithe Map of 1842 shows Booker's Farmhouse and Barn as owned by James Holman and occupied by James Nicholas and described as 'House and Garden'. Both individuals owned and occupied an extensive amount of land east and west of the buildings, and south towards Cowfold Road on the west side of

Foxhole Lane. However, those individuals did not own or occupy any land within the site boundaries. There is no indication from any other sources consulted for this assessment of an historical association between the Grade II Listed Booker's Farmhouse and Barn to the North East of Booker's Farmhouse and the Site (Plate 39).

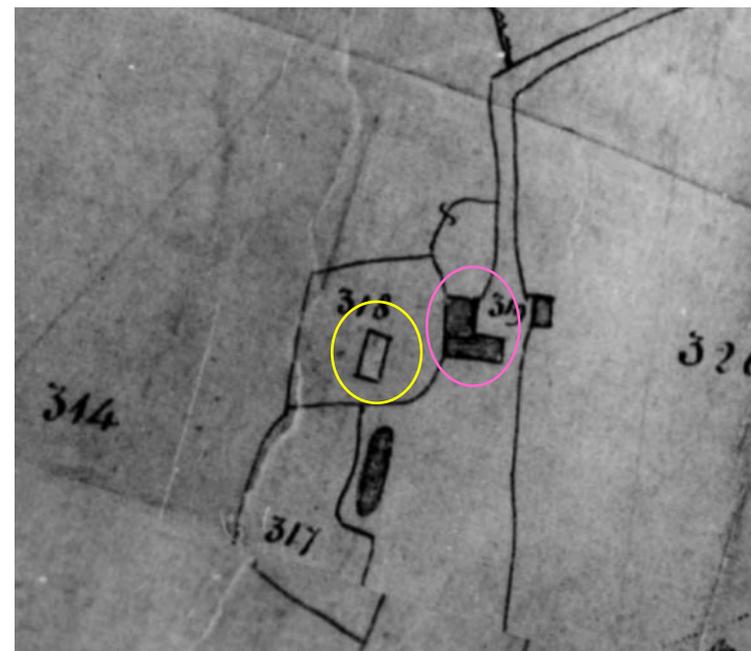


Plate 39: 1842 Bolney Tithe Map, Bookers Farmhouse circled in yellow, Barn circled in pink.

- 7.35. Grade II Listed Booker's Farmhouse and Barn are best experienced from within their curtilage, particularly from the gravel driveway between both, as only at close range can their built form and features of special architectural and historic interest be discerned and appreciated.

7.36. There is no intervisibility between the Grade II Listed Booker's Farmhouse and Barn and the Site due to intervening vegetation and built form along the PRow which filters views towards the Site (Plate 40 to Plate 42).



Plate 40: View east towards the Site from PRow within driveway of Farmhouse and Barn.



Plate 41: View east along PRow towards the Site.



Plate 42: Looking west towards Booker's Farmhouse and Barn from Field 5 in the Site.

- 7.37. Woodland is proposed along the northwestern site boundary which will retain the rural approach towards Booker's Farm from Foxhole Lane.
- 7.38. The Site makes no contribution through setting to the significance of the Grade II Listed Booker's Farmhouse and Barn to the North East of Booker's Farmhouse, and so no further setting assessment is considered appropriate.

Grade II Listed Bolney Lodge

- 7.39. The Grade II Listed Bolney Lodge (1025754) is located east of Foxhole Lane and south of Lodge Lane, c.240m north of the Site.
- 7.40. Bolney Lodge is a L-shaped, two storey residential country villa faced with Roman cement and dated to the 18th and early 19th centuries. The house has been altered since its original construction and is enclosed by a sandstone boundary wall which encloses its associated buildings (Plate 43 and Plate 44).



Plate 43: Bolney Lodge from Foxhole Lane.



Plate 44: Looking south along Foxhole Lane towards Bolney Lodge.

- 7.41. The Bolney Tithe Map of 1842 shows Bolney Lodge was owned and occupied by Sir Henry Rycroft, alongside the parcels of land immediately east and south of the house (Plate 45). These areas as shown in Plate 46 which also shows the extent of associated land under the same ownership as Bolney Lodge, located north of the Site.
- 7.42. Sir Henry did not own or occupy any land within the site boundaries. There is no indication from any other sources consulted for this assessment of an historical association between the Grade II Listed Bolney Lodge and the Site.

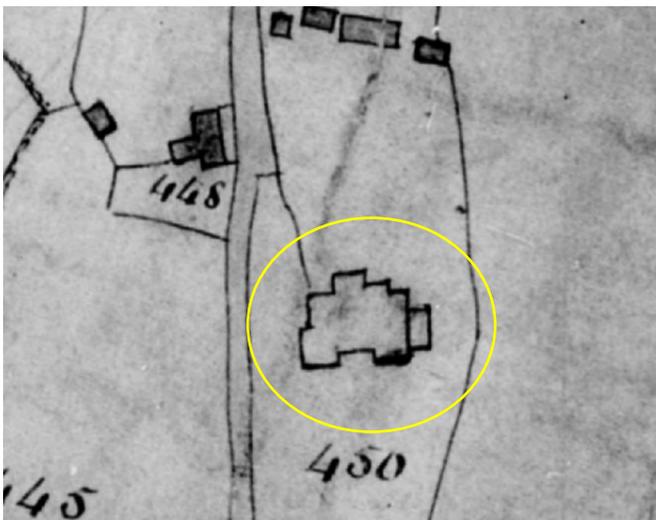


Plate 45: 1842 Bolney Tithe Map, Bolney Lodge circled in yellow.



Plate 46: 1842 Tithe map of Bolney, area shaded in purple shows land owned by Sir Henry Rycroft, site outlined in black.



Plate 47: 1879 map of Bolney Lodge.

- 7.43. 1879 mapping of Bolney Lodge shows the extent of the private parkland of Bolney Lodge. Views south and west

across these grounds can be understood, however the dense woodland located south of the Lodge restricts any potential long ranging views from the Lodge beyond its grounds, as well as screening visibility towards the site (Plate 48).

- 7.44. There is no visibility of Bolney Lodge from the western end of the PRoW north of the Site, as woodland limits long ranging views even in winter when the trees are not in full leaf (Plate 49).



Plate 48: Looking north from northwest corner of Field 5, towards Bolney Lodge.



Plate 49: Looking north from the west end of the PRoW.

- 7.45. Proposed development closest to the northern site boundary will be set back south of the footpath beyond attenuation features and vegetation.
- 7.46. Dense woodland is proposed along the northwestern site boundary along Foxlane which will also retain the rural approach to Bolney Lodge, as demonstrated in the photomontages below showing the proposed development in Year 1 and Year 15 (Plate 50 and Plate 51).



Plate 50: View 3: Panoramic view east of Foxhole Lane towards the northwestern section of the Site, Year 1.



Plate 51: View 3: Panoramic view east of Foxhole Lane towards the northwestern section of the Site, Year 15.

- 7.47. Grade II Listed Bolney Lodge is best experienced from within its driveway, west of the house, as only at close range can its built form and features of special architectural and historic interest be discerned and appreciated.
- 7.48. Group value is also derived from its association with Grade II Listed Bolney Lodge Cottage, discussed below.
- 7.49. There is no intervisibility between the Grade II Listed Bolney Lodge and the Site due to intervening vegetation which screens views towards the Site (Plate 48).
- 7.50. The Site makes no contribution through setting to the significance of the Grade II Listed Bolney Lodge, and so no further setting assessment is considered appropriate.

Grade II Listed Bolney Lodge Cottage

- 7.51. The Grade II Listed Bolney Lodge Cottage (1193259) is located west of Foxhole Lane, c.275m north of the Site.
- 7.52. Bolney Lodge Cottage is described in the List Entry as originally two cottages and dating to the 18th century, however the north cottage is a later addition. The building is two storeys constructed of red brick (Plate 52 and Plate 53).



Plate 52: Looking north along Foxhole Lane towards Bolney Lodge Cottage.



Plate 53: Earlier cottage.

7.53. The Bolney Tithe Map of 1842 shows Bolney Lodge Cottage was owned by John Nailard and occupied by Catherine Nailard, alongside the parcels of land immediately north and south of the house on the west side of Foxhole Lane. Neither individual owned nor occupied any land within the site boundaries. There is no indication from any other sources consulted for this assessment of an historical association between the Grade II Listed Bolney Lodge Cottage and the Site (Plate 54).

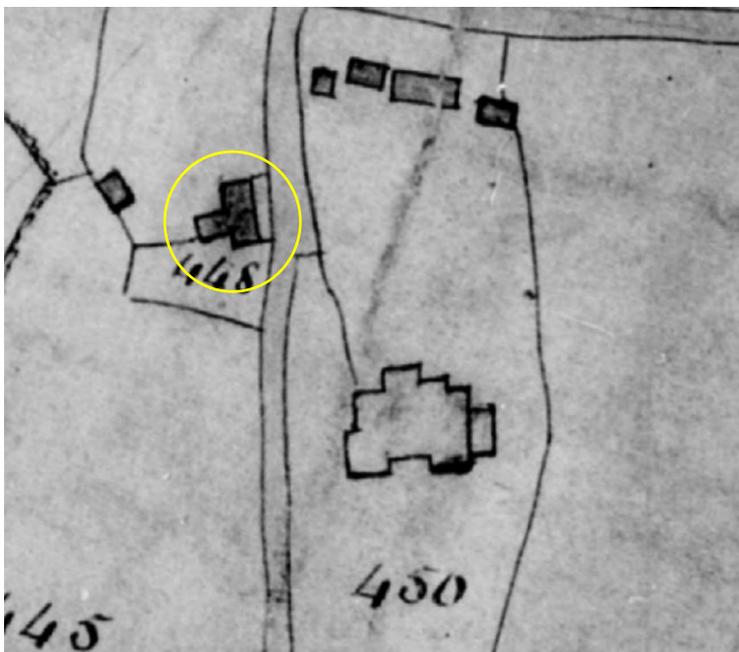


Plate 54: 1842 Bolney Tithe Map, Bolney Lodge Cottage circled in yellow.

7.54. Grade II Listed Bolney Lodge Cottage is best experienced from Foxhole Lane, east of the house, as only at close range can its built form and features of

special architectural and historic interest be discerned and appreciated.

- 7.55. Group value can be derived from its association with the Grade II Listed Bolney Lodge.
- 7.56. There is no intervisibility between the Grade II Listed Bolney Lodge Cottage and the Site due to intervening vegetation which screens views towards the Site (Plate 48).
- 7.57. The Site makes no contribution through setting to the significance of the Grade II Listed Bolney Lodge Cottage, and so no further setting assessment is considered appropriate.

Step 2-4

Grade I Listed The Parish Church of St Mary Magdalene

7.58. The Parish Church of St Mary Magdalene was added to the National List at Grade I on 28th October 1957 (NHLE 1193369). The List Entry describes the building as follows:

"BOLNEY THE STREET 1. 5405 The Parish Church of Mary Magdalene TQ 22 SE 15/246 28.10.57 I

2. Chancel, nave with north aisle, south porch and west tower. Chancel and nave 1100 circa. Tower built by John Bolney in 1536-8. South porch 1718. North aisle 1853."

7.59. A full copy of the List Entry is included at **Appendix 7**.

- 7.60. The Parish Church of St Mary Magdalene is located east of The Street, set back from the frontage, and within the boundaries of the southern section of Bolney Conservation Area.
- 7.61. Its chancel and nave date to the early 12th century and the tower is an addition constructed between 1536–8. The south porch dates to the early 18th century and the north aisle dates to the mid-19th century (Plate 55).

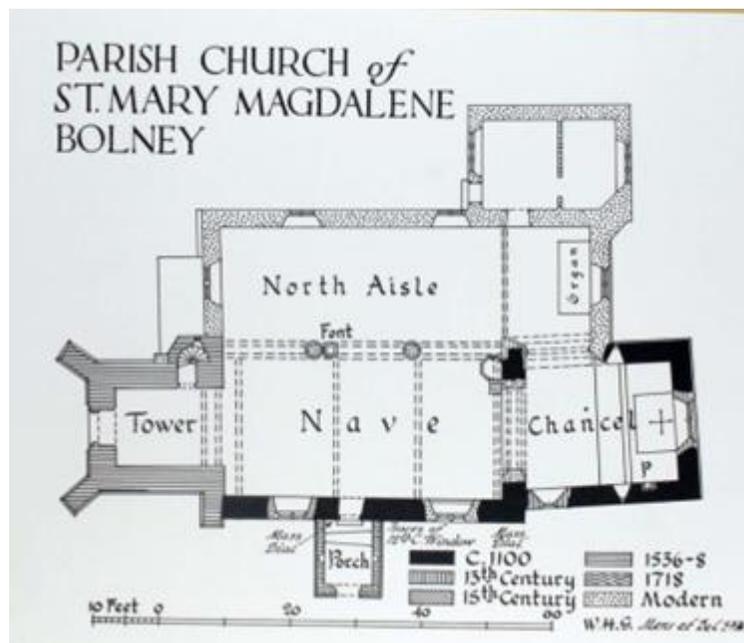


Plate 55: Plan of the Church illustrating the phases of historic fabric (Source: Historic England, Card ref no: 5845_006)

- 7.62. The Parish Church of Mary Magdalene is set within its church yard with the cemetery mainly to the east of the Church. The Church is in an elevated position in the landscape, set on sloping ground above The Street

which lies to the west. Pathways across the churchyard provide access to the Church from Church Lane and The Street, east and west of the churchyard, respectively.

- 7.63. There are two narrow flights of steps from The Street which provide eastern entrances to the Church yard. The steps furthest south along The Street lead up to a large timber lychgate with stone walls, steps and iron railings, from which a path leads up to the west elevation of the Church (Plate 56 to Plate 58).



Plate 56: Lynch gate to churchyard.



Plate 57: Entrance to Churchyard from The Street.



Plate 58: Looking northeast towards west elevation of the Church from Lynch gate.

- 7.64. Another flight of steps further north along The Street leads to another pathway which leads towards the principal elevation of the Church (Plate 59).



Plate 59: Footpath west of the Church.

- 7.65. Mature trees within the churchyard are planted along pathways which obscure clear views of the church from much of these routes (Plate 60). Even within the churchyard, only at close range can the built form and features of special architectural and historic interest of the church be fully discerned and appreciated.



Plate 60: Approach to south elevation of the Church.



Plate 62: West and south elevations of the Church.



Plate 61: South elevation of the Church.



Plate 63: North and east elevation of the Church.



Plate 64: East and south elevation of the Church.

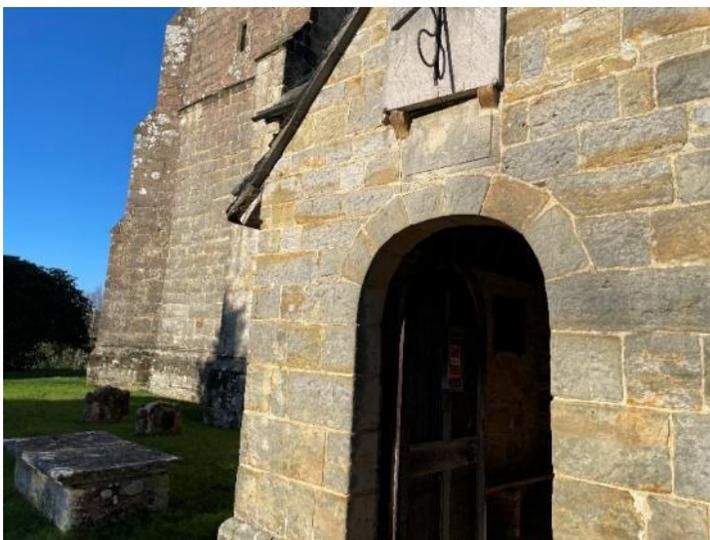


Plate 65: Historic features such as stone above doorway engraved with the date 1718.

- 7.66. The Church is located within the Parish of Bolney and according to the Tithe Map of 1842, the church and its grounds was held and occupied by Reverend William Saint Andrew Vincent. His ownership and occupancy extended to parcels of land surrounding the Church and east of The Street.
- 7.67. The Tithe Map shows the Church surrounded by a cluster of houses, illustrating the origins of this part of the settlement were focussed around the Church, with the church then having a settlement edge location (Plate 66), on the eastern side of the settlement.



Plate 66: 1842 Tithe apportionment showing site outlined in black, Bolney Conservation Area highlighted in purple, and the Church circled in yellow.

- 7.68. The Church is in an elevated position, being set back above the main street, elevated from the street

frontage. Whilst there do not appear to be designed views outwards from the church and churchyard, there are glimpsed views to beyond the churchyard including towards the school to the north-east, and across the rooftops of the settlement and to the fields beyond to the west, through gaps in the vegetation in the churchyard (Plate 67 and Plate 68).

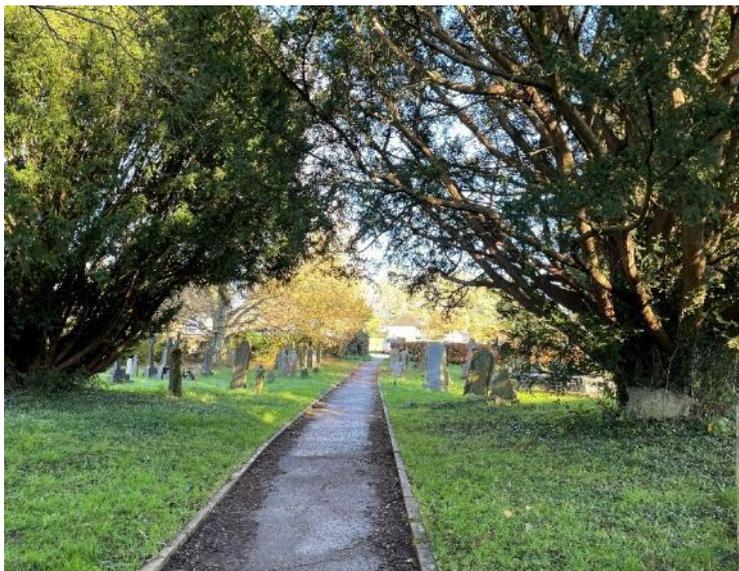


Plate 67: Looking northeast towards Bolney CoE School from the churchyard pathway north of the Church.



Plate 68: View west from the west elevation of the Church.

Views of the Church from within the Conservation Area

- 7.69. The Bolney Conservation Area comprises two sections; the Church lies within the boundaries of the southern section of Bolney Conservation Area. The Bolney Conservation Area Appraisal makes the following comments about the southern section, which also refer to the Church:

“The southern part of the village contains several listed buildings, including the Grade I Church of St Mary Magdalen with its Norman chancel and nave. The buildings which are arranged in an attractive manner around Bolney Street together create a sense of enclosure and form an attractive entry to the village.”

- 7.70. This emphasises the enclosed nature of the settlement.
- 7.71. Glimpsed views of the Church tower can be seen from The Street within the southern section of Bolney Conservation Area (Plate 69). However, views of the Church are limited by the proximity of buildings which enclose the narrow roads, as aforementioned.
- 7.72. Views of the Church are clearer from the section of Church Lane directly east of the Churchyard (Plate 70). Southern sections of Church Lane have no intervisibility with the Church due to mature trees enclosing the road.



Plate 69: View east from The Street towards the Church tower, circled in red.



Plate 70: View of Church from Church Lane, east of churchyard.

- 7.73. There is no visibility of the Church from the northern section of Bolney Conservation Area due to intervening built form and vegetation, as illustrated in Plate 71 below.



Plate 71: Looking south along The Street, positioned west of Rawson Hall.

Views of the Church from within the Site

- 7.74. The Church tower can be seen clearly from the central area of the site, within the northern half of Field 2 and southern half of Field 3. Due to the varied topography of the site, there are also views of the Church tower of the Parish Church of St Mary Magdalene from the northern areas of the site in Fields 4 and 5, as illustrated in Plate 72 and photographs below (Plate 73 to Plate 79).



Plate 72: Map with green dots approximately indicating areas with visibility of the Church from the site, Church circled in yellow.



Plate 73: (1) View southeast across the site towards the Church tower, circled in red (NGR: TQ25942311).



Plate 75: (3) Looking east towards Church tower from field boundary east of Foxhole Farm, circled in red (NGR: TQ25982290).



Plate 74: (2) View southeast towards Church tower from southern field boundary of northeastern field parcel within the site, circled red (NGR: TQ26042291).



Plate 76: (4) Looking east from within the middle field parcel towards the Church tower, circled in red (NGR: TQ260228).



Plate 77: (5) Looking east towards the Church from eastern site boundary, circled in red (NGR: TQ26052271).



Plate 79: (7) Looking east towards the Church, circled in red, from the west boundary within Field 2 (NGR: TQ25792276).



Plate 78: (6) Looking east towards the Church from the southeast corner of Foxhole Farm, circled in red (NGR: TQ259227).

Statement of Significance

- 7.75. The Grade I Listing of the Parish Church of St Mary Magdalene highlights it is a heritage asset of the highest significance as defined by the NPPF.¹⁹
- 7.76. The significance of the Church is primarily embodied in its physical fabric. Elements of the setting of the asset also contributes to its significance albeit to a lesser degree. The principal elements of the physical surrounds and experience of the asset (its ‘setting’) considered to contribute to its significance comprise:
- The intimate, enclosed, leafy churchyard, which provides the immediate physical surrounds of the church and is where the church is typically and best experienced from; and
 - The settlement of Bolney, which the Church was built to serve.

Contribution of the Site

- 7.77. According to the 1842 Tithe apportionment, the site and Church have no historical functional relationship.
- 7.78. The southeastern section of the site, Field 3, can be seen from the west section of the Churchyard due to its elevated position (Plate 80 to Plate 83). These views have some historic illustrative value as to the wider rural surrounds of the church historically and today, although the church has a sense of enclosure, both through

intervening settlement and vegetation within the churchyard.

- 7.79. As discussed above, there are also views towards the Church tower from the site. The two fields located south and east of Foxhole Farm, Field 2 and 3, have the clearest views of the Church tower within the site (Plate 76 to Plate 79). These have illustrative value as to the historic context of the church, set above the southern historic settlement core of Bolney. This will be discussed further below.
- 7.80. The site is also experienced in wider views moving through the landscape in the vicinity of the church, with a sense of the site being undeveloped in filtered views westwards from The Street.
- 7.81. As such, the site makes a minor contribution through historic illustrative value to the heritage significance of the church, illustrating its topographic position and the wider rural context of the asset.

Impact Assessment

- 7.82. Proposed development has been very carefully sited in the southern and northern extents of the site. These are areas which are identified as not visible from the churchyard, nor give the clearest views back to the church tower.
- 7.83. As part of the proposals, countryside open space is proposed in the area of the site which gives the clearest views to the church (part of field F2 and F3), which will

¹⁹ MHCLG, NPPF, para. 207.

allow new publicly accessible views to the church to be opened up.

7.84. This part of the site is also visible in glimpsed views from the churchyard. Whilst the countryside open space will no longer be grazed pasture, its overall character will be similar, and there will be little perceptible change in views from the churchyard (Plate 80 to Plate 83).



Plate 80: Looking west towards Field 3 of the site (circled in red) from the west churchyard pathway.



Plate 81: Looking west towards Field 3 of the site (circled in red) from the principal elevation of the Church.



Plate 82: Looking west towards Field 3 of the site (circled in red) from the cemetery grounds northwest of the Church.



Plate 83: Looking west towards Field 3 of the site (circled in red) from the east churchyard pathway to the rear of the Church.

- 7.85. Looking west from the Churchyard towards the Site, there no clear visibility of the residential development is anticipated in the views of the site most visible from the churchyard, see the Photomontages below which show the views towards the Site in Year 1 and Year 15 (Plate 84 to Plate 87). If any glimpses were possible, these would be in the context of existing built form.
- 7.86. These photomontages can also be found in the LVIA submitted alongside this report as part of the application.



Plate 84: View 6A: Panoramic view with redline of proposed housing, looking towards the site from the west of the Churchyard, Year 1.

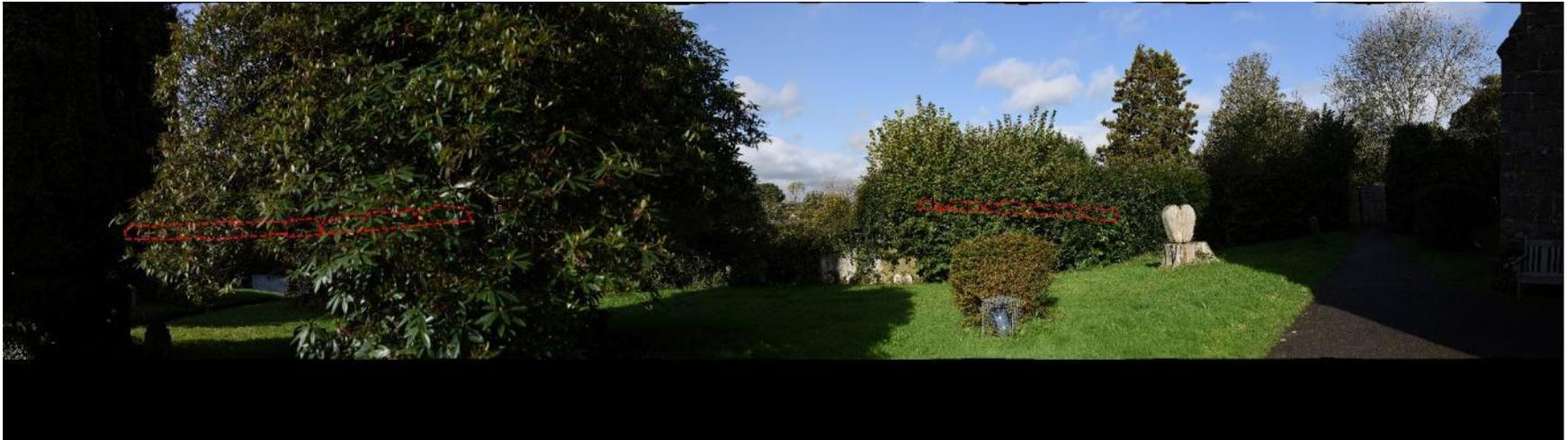


Plate 85: View 6A: Panoramic view with redline of proposed housing, looking towards the site from the west of the Churchyard, Year 15.



Plate 86: View 6B: Panoramic view with redline of proposed housing, looking towards the site from the west of the Churchyard, Year 1.



Plate 87: View 6B: Panoramic view with redline of proposed housing, looking towards the site from the west of the Churchyard, Year 15.

- 7.87. Vehicular access is proposed along the eastern boundary of the site to connect the southern and northern parcels of development. This has been carefully sited, set down to avoid prominence in views from the east. Screening vegetation is proposed on the eastern side of the road, to limit visibility from the wider Conservation Area (with no visibility anticipated from the churchyard).
- 7.88. Overall, considering that the change to the areas of the site visible from the churchyard will be little perceptible; that change within the site in the wider context of the church is only likely to occur in dynamic views; and that new publicly accessible views will be created to the church from the central areas of the site, only a very low level of less than substantial harm to the church is anticipated.

Grade II Listed Walnut and Well Cottage

- 7.89. The Walnut and Well Cottage was added to the National List at Grade II on 11th May 1983 (NHLE 1025760). The List Entry describes the building as follows:

“BOLNEY THE STREET 1. 5405 Walnut and Well Cottage TQ 22 SE 15/247 II

2. Formerly 2 cottages. C17 or earlier timber-framed building with plaster infilling, ground floor rebuilt in painted brick. The 2 cottages had different roof levels, the north one being tiled, the south one of Horsham stone slate slabs. Casement windows. Two storeys. Four windows.”

- 7.90. A full copy of the List Entry is included at **Appendix 7**.

- 7.91. Walnut and Well Cottage are two neighbouring cottages located along the west side of The Street. The principal elevations front onto The Street, separated by pavement and within the boundaries of the southern section of Bolney Conservation Area.
- 7.92. The two cottages date to the 17th century or earlier and are timber-framed buildings with plaster infilling according to the List Entry. The ground floor has been rebuilt with brick and painted white to match the rest of the façade. Traditional diamond leaded windows are present at ground and first floor on both cottages.
- 7.93. The southern cottage is taller than the northern cottage which has a steeper pitched roof and dormer window. The walled garden is located north of the buildings and access to the cottages is gained by a side gate further north along The Street.



Plate 88: Principal elevation of Walnut and Well Cottage, looking north along The Street.



Plate 89: Principal elevation of Walnut and Well Cottage, looking south along The Street.



Plate 90: Looking south along The Street towards north elevation of Walnut and Well cottages.

- 7.94. The 1842 Tithe Map of Bolney records a building in the approximate location of the Well and Walnut Cottages in Plot 461. Sir Henry Rycroft is recorded as owning this plot and occupied by Eliza Baker. Neither individual owned nor occupied land within the Site (Plate 91).



Plate 91: 1842 Tithe map of Bolney, approximate location of Well and Walnut Cottages circled in yellow.

- 7.95. Views from the Cottages are afforded west over their garden and due to mature vegetation screening the west side of the garden and dense urban development east of the cottages, no clear longer-range views are anticipated.
- 7.96. Due to the presence of dense urban development along The Street, the Grade II Listed cottages are best appreciated from The Street at close proximity which allow the architectural and historic interest of the asset to be experienced.

Statement of Significance

- 7.97. The Grade II Listing of the Walnut and Well Cottage highlights it is a heritage asset of less than the highest significance as defined by the NPPF.²⁰
- 7.98. The significance of the Cottages is primarily embodied in its physical fabric. Elements of the setting of the asset also contributes to its significance albeit to a lesser degree. The principal elements of the physical surrounds and experience of the asset (its ‘setting’) considered to contribute to its significance comprise:
 - Associated gardens west of the cottages;
 - The Street and pavement, from where the principal façade of the asset can be appreciated; and
 - The wider settlement of Bolney.

Contribution of the Site

- 7.99. As noted above, the 1842 Tithe map of Bolney records no historical functional relationship between the site and the Grade II Listed cottages.
- 7.100. To the rear of the cottages to their west are two parcels of land between the building and the site. One intervening parcel is the rear garden associated with the cottages, with another separate parcel immediately west of the rear garden which appears to be a garden associated with a property further north of the Listed

cottages. The site lies beyond these two parcels, abutting the western boundary of the further garden. As the land to the west of the cottages slopes up steeply, views from the asset are anticipated to be largely to the garden area, with filtered views to the parcel beyond, and only filtered views glimpsed to land beyond this (Plate 92).



Plate 92: Well and Walnut Cottages circled in yellow, and site outlined in black.

- 7.101. From close to Well and Walnut Cottage on The Street, the site is very largely screened by vegetation, though the central area of the site is perceived as remaining undeveloped (Plate 93).

²⁰ MHCLG, NPPF, para. 207.



Plate 93: Looking west from The Street, just north of Well and Walnut Cottage

Only glimpses of the cottage are visible from the site (Plate 94, Plate 95).



Plate 94: Looking east towards rear gardens of Grade II Listed Cottages from within the site, circled in yellow.



Plate 95 Looking east towards Well and Walnut Cottage from higher up within the site – only filtered view to roof possible

- 7.102. There are likely to be filtered and glimpsed views from the asset to the site, and whilst the land is part of the wider rural surrounds of the asset, there is no evidence to suggest a historic association. As such, the site is considered to make a minor contribution to the significance of the asset through setting.

Impact Assessment

- 7.103. The area of the site which is likely to be visible in glimpsed and filtered views from the asset is proposed to be countryside open space, and the change in character will be little perceptible in views.
- 7.104. Whilst the proposed access road will lie on the eastern side of the site, this will lie beyond the two garden areas and their associated vegetation in relation to the

cottage, and will also be flanked by a hedgerow, and will have intervening orchard and structural planting between that area and the eastern boundary of the site (see Structural Planting Plan in the LVIA).

- 7.105. Some perception of increased activity to the west of the asset is anticipated, from public use of the countryside open space and from traffic movement, albeit views will be largely screened. Some perception of noise may be possible, although it should be noted that the cottage has a roadside location on The Street.
- 7.106. The anticipated harm through reduction in the historic illustrative value of the land perceived as undeveloped currently would comprise less than substantial harm at the low end of that spectrum.

Bolney Conservation Area

- 7.107. Bolney Conservation Area was designated in two parts in January 1989 by Mid Sussex District Council. Whilst Bolney Conservation Area does have a full Conservation Area Appraisal, information regarding its features and designation are detailed in the document, ‘*Conservation Areas in Mid Sussex*’ prepared by Mid Sussex District Council in August 2018.
- 7.108. Bolney Conservation Area is divided into two sections encompassing two clusters of historic settlement, and is described as follows:

“The southern part of the village contains several listed buildings, including the Grade I Church of St Mary Magdalen with its Norman chancel and nave. The buildings which are arranged in an attractive manner around Bolney Street together create a

sense of enclosure and form an attractive entry to the village. The northern part of the Conservation Area, which also contains a number of listed buildings, includes those properties fronting onto Bolney Street, north of 'Leacroft', Cherry Lane and Top Street. It is characterised by low density development, with trees, hedges and open spaces making an important contribution to its attractiveness."

7.109. The following features were described to significantly contribute to the character of Bolney Conservation Area:

"- the lack of a uniform building line which adds variety and interest, reflects the gradual growth of the village and enhances its semi-rural character;

- the variety of age and style of the buildings and the use of natural and traditional building materials;

- the attractive walling within the area;

- the attractive countryside views; and

- views into and out of the Conservation Area."

7.110. Bolney was historically a small settlement with the majority of development concentrated around the Parish Church of St Mary Magdalene and a smaller parcel of development further north, around Lodge Lane, up until the early 20th century. By the mid 20th century, modern residential development began to appear along The Street, infilling the gap between the two original areas of historic development. Hence, the Conservation

Area is divided into two parcels which covers the earlier settlement clusters (Plate 96 and Plate 97).

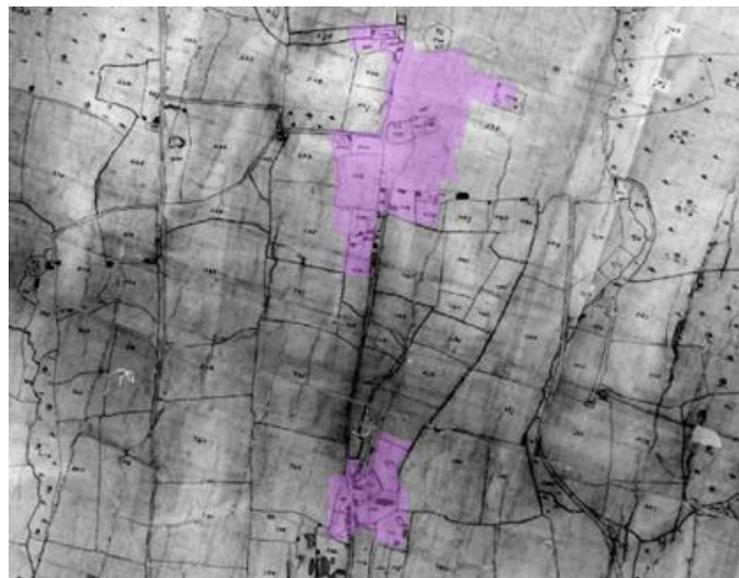


Plate 96: 1842 Tithe map showing Bolney Conservation Area, highlighted in pink.

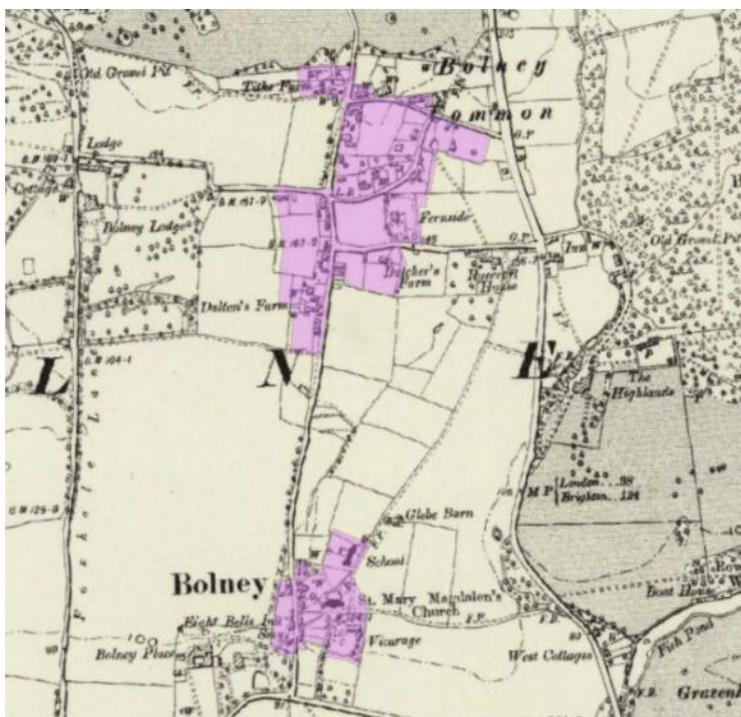


Plate 97: 1899 OS map showing Bolney Conservation Area, highlighted in pink.

- 7.111. The primary entrance to the northern section of the Bolney Conservation Area is from The Street, to the north and south. Top Street and Ryecroft Road allow access to the east of the northern section of the Conservation Area. Other egresses include the public footpath leading west from the south-eastern corner of the northern area.
- 7.112. The Street allows access to the north and south of the southern section of Bolney Conservation Area. Church Lane also provides access to the south of the southern section of the Conservation Area.

- 7.113. The majority of buildings within the Conservation Area are two storeys of varying heights with pitched slate roofs. A variety of timber-framed buildings with plaster infilling and red brick buildings can be seen, with low brick or stone walls and hedgerows defining the boundaries of the residential dwellings.
- 7.114. No key views are discussed in the brief Conservation Area appraisal however with regards to the southern section the appraisal states, ***“The buildings which are arranged in an attractive manner around Bolney Street together create a sense of enclosure and form an attractive entry to the village”***. This highlights the entrance to the southern section of the Conservation Area as an important focal point of the Conservation Area.
- 7.115. The appraisal also mentions ***“attractive countryside views”***.
- 7.116. Glimpses to agricultural land are possible from the Churchyard looking west, as the elevated position provides glimpsed views over the rooftops (Plate 80 to Plate 83).
- 7.117. A sense of undeveloped land to the west is also perceptible from The Street in glimpses between buildings, although no clear views to the site are possible (Plate 93, above and Plate 98 and Plate 99).



Plate 98: Looking west from The Street, opposite the Old Post Office.



Plate 99 Looking west from The Street

- 7.118. Elements of built form within the southern area of the Conservation Area are visible from field 3 within the site (Plate 100), and so private reciprocal views of the central area of the site are anticipated.



Plate 100 Looking east to the Conservation Area from the central area of the site

Statement of Significance

- 7.119. The significance of the Bolney Conservation Area is principally derived from historic built form of varying building heights, and the overall historic clustered layout, originally focussed around the Church of St Mary Magdelene. This historic layout can be understood from the distinct historic elements within the Conservation Area, such as traditional architecture and lack of uniform building line, compared to the infill of modern development which connects the two sections of the Conservation Area.

7.120. While there is currently no statutory protection for the settings of Conservation Areas, it is evident that elements of the surrounds of the Conservation Area make some contribution to its significance, albeit less than the structures and spaces within its boundaries. Elements of the physical surrounds and experience of the asset (its setting) which are considered to contribute to its heritage significance include:

- The Street which connects the north and south sections of the Bolney Conservation Area;
- Wider rural setting to the east, west and south of the Conservation Area, although the Conservation Area has a strong sense of enclosure from The Street.

Contribution of the Site

7.121. The site is located c. 25m west of the southern section of the Bolney Conservation Area and c.10m southwest of the northern section and is part of the wider rural setting of the Conservation Area.

7.122. As discussed above, there are glimpsed views to the central area of the site from the churchyard (Plate 80 to Plate 83) and a sense of the site being undeveloped in glimpsed views west from The Street (Plate 98 and Plate 99). Visibility of the site is also anticipated in private views from buildings within the area (Plate 100).

7.123. The site cannot be seen from the southern entrance to the northern parcel of Bolney Conservation Area, via The Street (Plate 101). No view of the site can be seen from Lodge Lane, which is within the northern section of the

Conservation Area and lies north of the site (Plate 102 and Plate 103).



Plate 101: View southwest towards the site from The Street, opposite Rawsons Hall.



Plate 102: Looking west along Lodge Lane from within Conservation Area.



Plate 103: Looking east along Lodge Lane from within Conservation Area.

7.124. The eastern end of the public footpath, which lies along the northern boundary of the site, is also included within the northern section of Bolney Conservation Area. The footpath is accessed from The Street and the section included within the Conservation Area is between two residential properties defined by walled boundaries, mature trees and vegetation which restrict views north and south of the footpath, beyond the Conservation Area boundary (Plate 104).

7.125. Policy DPA14 also references this footpath, stating the following policy requirement, *“Retain the character of footpath 44Bo which runs along the site’s northern boundary and create a pedestrian link from the site”*.



Plate 104: Eastern entrance to public footpath from The Street.

7.126. Plate 105 shows the eastern extent of the footpath which leads into the Conservation Area. The path is flanked by hedgerows which limit views south of the

footpath towards the site, although glimpsed views are possible south to the site (Plate 106).



Plate 105: View east towards Conservation Area from public footpath, along northern site boundary.



Plate 106: Looking southeast from eastern side of public footpath.

- 7.127. Further along the eastern end of the footpath, beyond the Conservation Area boundary, the northwestern parcel of land (field 4) within the site is visible (Plate 107).



Plate 107: View west from footpath out of the northern section of the Conservation Area towards the site.

- 7.128. The site cannot be seen from the northern entrance to the southern section of Bolney Conservation Area, along the Street, due to the dense built form along The Street, mature trees and lower topography compared to the land within the site (Plate 90).
- 7.129. Taking the above into account, the site is considered to contribute to the significance of the Conservation Area through setting through being part of the wider rural setting of the asset. However, the enclosed nature of the asset means that the site is only visible in glimpsed public views from the churchyard and relatively few assets within the area, and in dynamic views moving west along the footpath north of the site. There is a perception of the central area as being undeveloped in glimpses westwards from The Street in the southern

part of the Conservation Area. The site is considered to make a minor to moderate contribution to the asset through setting.

Impact Assessment

- 7.130. The overall historic cluster settlement pattern of two areas of the Conservation Area will remain legible through the areas of separation and setbacks between the development and the historic areas, which will also retain their legibility through their architectural character. The area of the site closest to the western boundary of the southern part of the Conservation Area will be largely free of built form. This will allow the legibility of the overall historic cluster settlement pattern to continue to be understood.
- 7.131. The proposals include development for residential, community and education use within the northern and southern extents of the site.
- 7.132. As aforementioned in the assessment of the Church of St Mary Magdalene, open space is proposed in the area of the site which is most visible from the churchyard within the Conservation Area, and views will remain from that area to land of an open grassland character (Plate 84 to Plate 87). Any glimpsed views to proposed built form would be in the context of existing built form.
- 7.133. The sense of undeveloped land in filtered views west from The Street between buildings will be retained through the placement of countryside open space within the development.
- 7.134. The private views from buildings within the Conservation Area are anticipated to be largely to the

countryside open space. Any views to built form would be peripheral.

- 7.135. A road will cross the central area of the site, which may be visible from private views from some buildings adjacent to the site. This will be screened by a flanking hedge, orchard planting and structural planting, but some perception of the movement of vehicles may be possible.
- 7.136. The built form of the development is not anticipated to be visible from the southwest corner of the northern section of Bolney Conservation Area.
- 7.137. The proposed development will be visible in dynamic views from the footpath route leading westwards from the northern section of the Conservation Area. The

proposed residential development is set back south of the footpath in the area closest to the northern section of the Conservation Area, beyond attenuation and softening vegetation, giving a sense of separation when leaving the Conservation Area. The photomontages below show the proposed development in Year 1 and Year 15 from this PRoW looking south towards the Site (Plate 108 and Plate 109).

- 7.138. Proposed pedestrian access to the Site is also proposed from the eastern site boundary to The Street by creating a pathway through the modern development between the two sections of the Conservation Area (Plate 110 and Plate 111).



Plate 108: View 4: Panoramic view south of the PRow along the north boundary of the Site looking towards north section of the Site, Year 1.

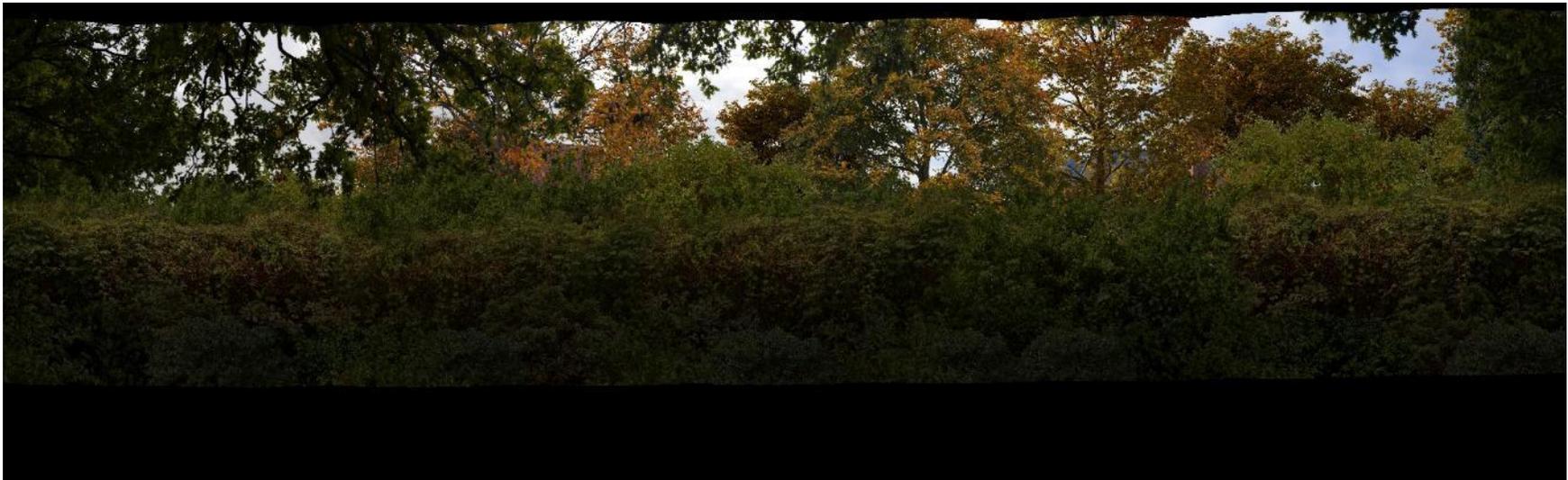


Plate 109: View 4: Panoramic view south of the PRow along the north boundary of the Site looking towards north section of the Site, Year 15.



Plate 110: View 5: Panoramic view west from The Street along proposed pedestrian pathway to eastern site, Year 1.

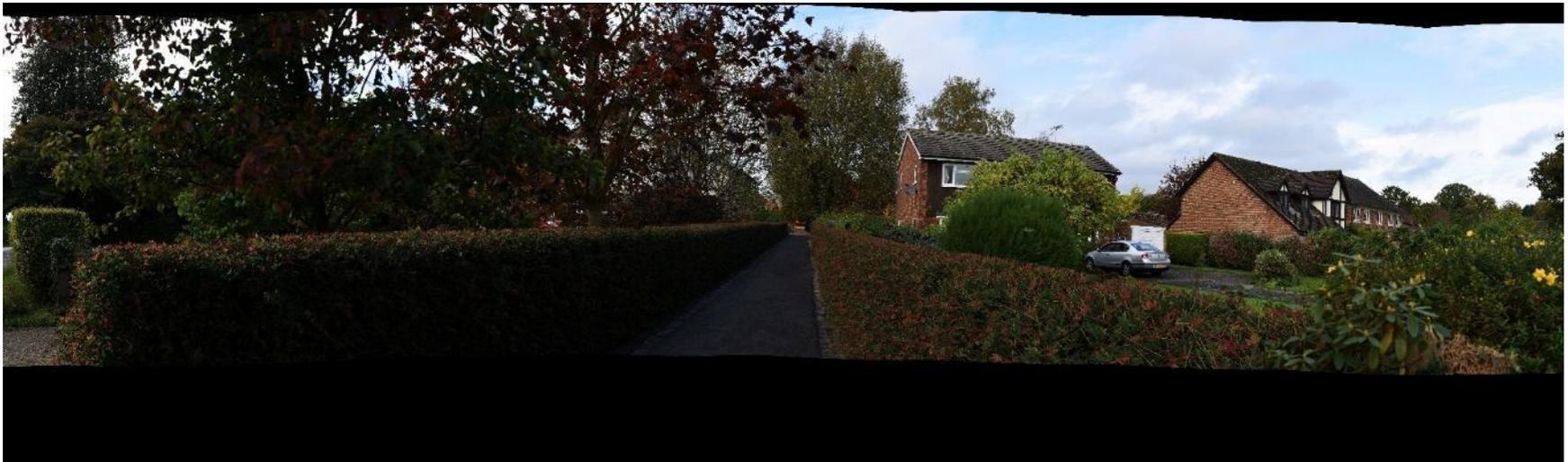


Plate 111: View 5: Panoramic view west from The Street along proposed pedestrian pathway to eastern site, Year 15.

7.139. Taking the above changes into account, but also considering that no physical changes are proposed to the area itself, and that the legibility of the historic settlement clusters will remain, with retained views towards open countryside west of the Churchyard, harm to Bolney Conservation Area is anticipated to be less than substantial and at the low end of the spectrum.

The Old Post Office

7.140. The Old Post Office is not listed and has not been recorded on the West Sussex County Council Historic Environment Record. The building however has been identified by the Conservation Officer during pre-application discussions and will be considered as a non-designated heritage asset.

7.141. The Old Post Office lies c.65m east of the site and comprises a broadly L-shaped plan building constructed with red brick and a one storey projection to the rear that is raised up in line with the first storey of the main building. The principal elevation of the Post Office faces west onto The Street and is set back from the road behind the pavement and small low brick wall defined front garden. A side gate south of the house leads to the rear garden which is raised one storey above street level (Plate 112).



Plate 112: 2022 Google Earth Pro, Old Post Office circled in yellow.

7.142. The principal elevation comprises a gable front with a late 19th- to early 20th-century traditional shopfront bay window on the ground floor, with blank wooden signage panel above and timber framed window at first floor level. The main entrance is south of the gable end and has a tiled canopy over. Timber framed bay windows with a gable projection above are also present along the principal elevation however the windows on the ground floor have been replaced with modern uPVC windows. Scalloped and straight tile hanging can be seen along the first storey and at ground floor level is red brick. The roof is tiled and pitched with a brick chimney. The rear projection also has a pitched roof (Plate 113 and Plate 114).



Plate 113: The Old Post Office, looking south along The Street.



Plate 114: The Old Post Office, looking north along the street.

7.143. The Conservation Officer described the rear range as follows, “the rear range appears to be significantly older- external and internal inspection would suggest it is a timber framed building of the 17th century or earlier, later underbuilt in brick”, however it was not possible to confirm this from the public domain.

7.144. The earliest historic mapping of a building in the approximate location of the Old Post Office is the 1842 Tithe Map of Bolney. The 1842 Tithe Map records the buildings along The Street, within the historic core of Bolney, as houses and gardens. The house and garden in the approximate location of the Old Post Office was owned by Fiest and occupied by Thomas Arnold. Fiest also owned parcel 464, located north of 463, which is also recorded as ‘House and Garden’. Neither individual owned nor occupied land within the Site itself (Plate 115).



Plate 115: 1842 Tithe Map, approximate location of The Old Post Office circled in yellow.

7.145. The 1879 map below is the earliest available map which labels the Post Office.

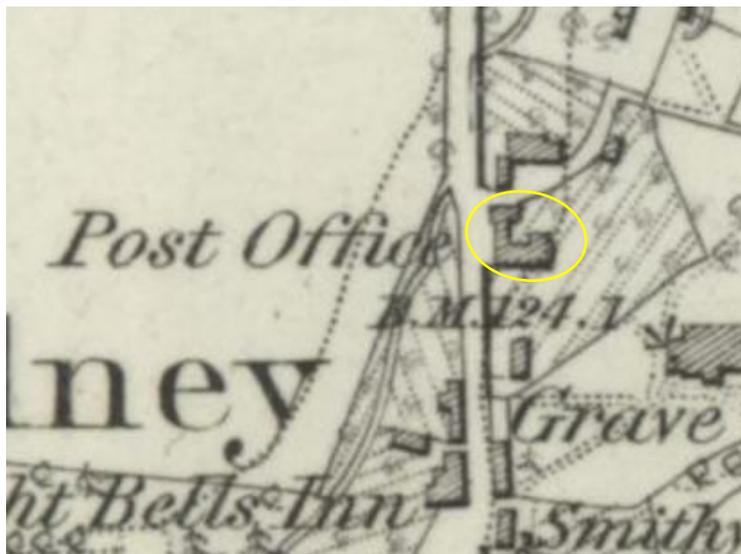


Plate 116: 1879 map of the Old Post Office, circled in yellow.

7.146. The Old Post Office is positioned along The Street within the core of the village, to serve the village and

surrounding areas via The Street, thus the road and village make a key contribution to the setting of this asset.

7.147. Due to the presence of dense urban development along The Street, the Old Post Office is best appreciated from The Street at close proximity which will allow the architectural and historic interest of the asset to be experienced.

Statement of Significance

7.148. Criteria for the selection of buildings for local listing / identification as a non-designated heritage status has not been formally established by Mid Sussex District Council.

7.149. In determining the significance of the building, an assessment of the Old Post Office has been undertaken against Historic England's criteria for Local Heritage Listing in the table on the following pages.

Table 1: Assessment of the building against the local heritage list criteria within Historic England's Advice Note 7.

Historic England Local List Criteria	Assessment
Asset Type	<p>The building is a former Post Office, and as such is an asset type that might be considered for local listing. The building no longer functions as a Post Office and is now in residential use.</p>
Age	<p>Assets of any age can be considered for local listing, but the majority of Locally Listed Buildings would be expected to date between 1850 and 1945. The Old Post Office was constructed by 1842 according to the Bolney Tithe Map however an exact date of construction is not confirmed.</p> <p>Thereby, the building would not be considered to comply with this criterion.</p>
Rarity	<p>The Old Post Office represents a modest building, constructed to serve the village of Bolney, dating to the 19th century. No architect has been associated with the building, nor has any other key figures. Whilst the building has retained its traditional shopfront, its ornamentation is simplistic and cannot be considered rare or unique.</p> <p>Thereby, the building would not be considered to comply with this criterion.</p>
Architectural and Artistic Interest	<p>The Old Post Office comprises a broadly L-shaped plan building constructed with red brick and a one storey projection to the rear that's raised up in line with the first storey of the main building. The building appears to retain its original layout and historic features such as the traditional shopfront as a commercial building, however modern features such as uPVC windows have replaced the bay windows along the ground floor of the principal elevation.</p> <p>Thereby, the building could be considered to comply with criterion, albeit noting that it has previously been altered.</p>

Historic England Local List Criteria	Assessment
Group Value	<p>The building was constructed to serve the community of Bolney in the 19th century, as the core of the village surrounded the building along The Street. There are no buildings that have an historical functional association with the Old Post Office.</p> <p>Thereby, the building could not be considered to comply with this criterion.</p>
Archaeological Interest	<p>No elements of the historic environment have been recorded on the West Sussex County Council HER for the Site.</p> <p>Thereby, the building would not be considered to comply with this criterion.</p>
Historic Interest	<p>The Old Post Office dates to the 19th century. It was historically located on the High Street, as would be expected for such a service. As such, its location on the main street has historic illustrative value. . Its historic use as a Post Office also contributes communal value.</p> <p>Thereby, the building could be considered to comply with this criterion.</p>
Landmark Status	<p>The Old Post Office is not monumental and was not designed to be seen in far reaching views.</p> <p>Thereby, the building could not be considered to comply with this criterion.</p>

- 7.150. Whilst the Old Post Office is not of a high significance and would not be considered for inclusion on the national List of buildings of special architectural and historic interest (i.e. statutorily Listed), it is of some local interest.
- 7.151. The significance of the asset is principally derived from its physical structure, although setting makes a modest contribution. Those elements of the setting of the asset which principally contribute to its significance through setting comprise The Street it is sited upon and the wider village.

Contribution of the Site

- 7.152. The site is located west of the Old Post Office and has no historical functional relationship according to the 1842 Tithe apportionment. The site does not contribute to any key views associated with the Old Post Office.
- 7.153. The Old Post Office can be seen from the eastern site boundary within Field 3 of the Site looking east but cannot be seen from the western site boundary within Field 3 (Plate 117 and Plate 118). As such, the site is considered to make only a very minor contribution to the significance of the asset through setting, as illustrating the rural surrounds of the asset.



Plate 117: Glimpse of Old Post Office from Field 3 along eastern site boundary, circled in yellow.



Plate 118: View towards Old Post Office from western site boundary within Field 3.



Plate 119: Looking west from The Street by The Old Post Office.

Impact Assessment

- 7.154. The elements of the site which are anticipated to be visible from the asset comprise the area which is proposed to be countryside open space. The road may be visible, but this will be largely screened by the flanking hedge and other proposed vegetation. There may be some increased perception of movement, but it should be noted that the asset has a streetside location. Any harm would be very minor.

Bolney Place

- 7.155. Bolney Place is not listed and has not been recorded on the West Sussex County Council Historic Environment Record. The building however has been identified by the Conservation Officer during pre-application discussions

and will be considered as a non-designated heritage asset.

- 7.156. Bolney Place is a large Victorian house which was set within its grounds which included landscaped gardens, pond and pathways to provide access from Cowfold Road. Bolney Place is located c.45m south of the Site from the southern boundary of Field 3, orientated to face south and east with a driveway and private lane providing access from Cowfold Road, west of The Street. The grounds of Bolney Place are bound by mature vegetation and hedgerows to the north and west, filtering views out from Bolney Place to the rural landscape beyond.
- 7.157. The earliest historic mapping of Bolney Place is the 1842 Tithe Map of Bolney. The 1842 Tithe Map records Bolney Place southwest of the historic core of Bolney, as houses and gardens. Bolney Place was owned by Richard Weekes and occupied by Noah Wells. Both individuals owned and occupied an extensive amount of land which includes the land within the Site (Plate 120).



Plate 120: 1842 Bolney Tithe Map, Bolney Place circled in yellow.

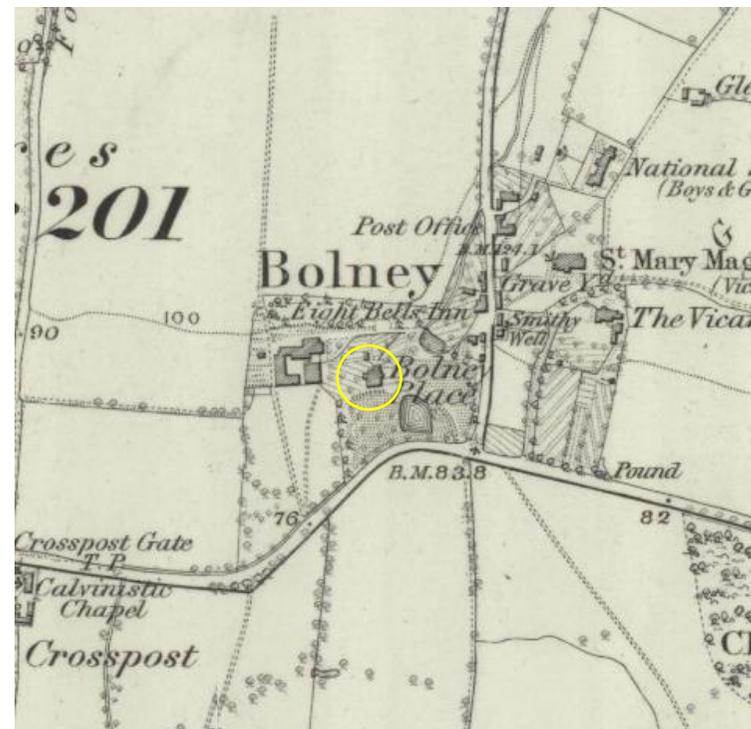


Plate 121: 1897 map of Bolney Place, circled in yellow.

7.158. The 1897 map shows Bolney Place and the extent of its grounds is illustrated by shading. The house is surrounded by its landscaped gardens, a pond is located southeast of Bolney Place and pathways leading up to the house are from Cowfold Road. A larger building with a courtyard is located west of Bolney Place (Plate 121).

7.159. The 1912 map shows alterations to the layout of the surrounding buildings west of Bolney Place (Plate 122).

7.160. By the mid 20th century, the buildings to the west of Bolney Place have been mainly demolished with a few outbuildings retained. Little significant change appeared to have been made to Bolney Place itself (Plate 123).

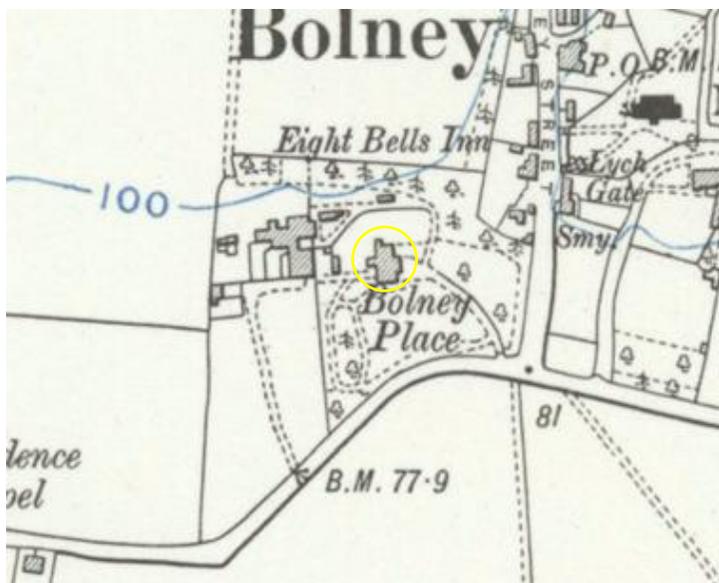


Plate 122: 1912 map of Bolney Place, circled in yellow.

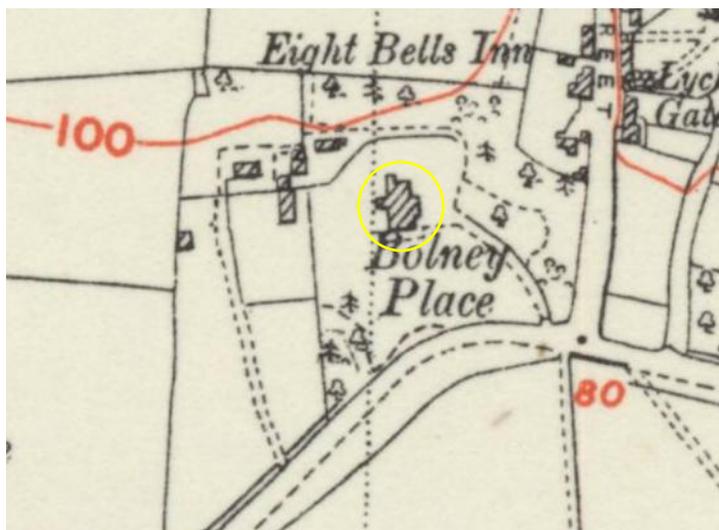


Plate 123: 1952 map of Bolney Place, circled in yellow.

- 7.161. According to the planning history of Bolney Place, it has been altered during the 1990s and early 2000s, changing from residential use to office space.
- 7.162. Designed views from Bolney Place appear to have been across its grounds, particularly south and east as associated built development is located northwest of the house.
- 7.163. Due to the presence of urban development northwest and northeast of the house as well as mature vegetation enclosing its grounds, Bolney Place is best appreciated from within its curtilage at close proximity which will allow the architectural and historic interest of the asset to be experienced.

Statement of Significance

- 7.164. Criteria for the selection of buildings for local listing / identification as a non-designated heritage status has not been formally established by Mid Sussex District Council.
- 7.165. In determining the significance of the building, an assessment of Bolney Place has been undertaken against Historic England's criteria for Local Heritage Listing in the table on the following pages.

Table 2: Assessment of the building against the local heritage list criteria within Historic England's Advice Note 7.

Historic England Local List Criteria	Assessment
Asset Type	<p>The building is a large mid-19th century former house, and as such is an asset type that might be considered for local listing. However, the building no longer functions as a residential dwelling and is now office space.</p>
Age	<p>Assets of any age can be considered for local listing, but the majority of Locally Listed Buildings would be expected to date between 1850 and 1945. Bolney Place was constructed in the mid-19th century however an exact date of construction is not confirmed.</p> <p>Thereby, the building would be considered to comply with this criterion.</p>
Rarity	<p>Bolney Place represents a large Victorian house, constructed as one residential dwelling with landscaped grounds and outbuildings surrounding it. No architect has been associated with the building, nor has any other key figures. Whilst the building has retained some historic features it cannot be considered rare or unique.</p> <p>Thereby, the building would not be considered to comply with this criterion.</p>
Architectural and Artistic Interest	<p>The building is of modest architectural interest for its type and period and could be considered to comply with this criterion, albeit noting that it has previously been altered from its original construction.</p>
Group Value	<p>Bolney Place was constructed as a single dwelling in the mid-19th century and had associated outbuildings including coach houses and cottages, some of which survive. However, the original associated building located west of Bolney Place has been heavily altered since its original construction.</p> <p>Thereby, the building could be considered against this criterion.</p>

Historic England Local List Criteria	Assessment
Archaeological Interest	<p>No elements of the historic environment have been recorded on the West Sussex County Council HER for the Site.</p> <p>Thereby, the building would not be considered to comply with this criterion.</p>
Historic Interest	<p>Bolney Place dates to the mid-19th century on the outskirts of the historic core of Bolney. The Tithe Map shows it has historical functional associations with the surrounding land north, west and south, as it has the same owner and occupier recorded. Bolney Place is a single residential dwelling and can derive historic interest as a large Victorian rural house, which survives today however has been modified in use and fabric.</p> <p>Thereby, the building could be considered to comply with this criterion.</p>
Landmark Status	<p>Bolney Place is not considered monumental and was not designed to be seen in far reaching views.</p> <p>Thereby, the building could not be considered against this criterion.</p>

- 7.166. Whilst Bolney Place is not of a high significance and would not be considered for inclusion on the national List of buildings of special architectural and historic interest (i.e. statutorily Listed), it is of some local interest.
- 7.167. The significance of the asset is primarily embodied in its physical form. Setting makes a contribution, but to a lesser degree. Those elements of the setting of the asset which principally contribute to its significance comprise the area of designed grounds and any surviving associated buildings.

Contribution of the Site

- 7.168. The Site and Bolney Place share a historical functional association according to the Tithe map of 1842.
- 7.169. The site lies beyond the designed grounds which were associated with the asset.
- 7.170. Glimpses of Bolney Place can be seen from the southern extent of Field 3 and eastern extent of Field 2, although mature trees limit intervisibility which is largely screened (Plate 124 to Plate 127).



Plate 124: Looking south from southern extent of Field 3, Bolney Place circled in yellow.



Plate 125: Looking southeast from western site boundary in Field 2, Bolney Place circled in yellow.



Plate 126: Looking east from western boundary of Field 2, Bolney Place circled in yellow.



Plate 127: Looking northeast from Field 1, Bolney Place circled in yellow.

Impact Assessment

- 7.171. Field 3 and the northern extent of Field 2 is proposed as countryside open space and the asset will retain filtered views to land of an open grassland countryside character. Orchard will flank either side of the central access road within the eastern extent of the Site and therefore provide screening of the development, further limiting any intervisibility.
- 7.172. West of Bolney Place, in Fields 2 and 1, residential development is proposed although views will be filtered and partially screened by intervening vegetation and built form. Proposed screening will further limit intervisibility.

- 7.173. Primary views from the asset are anticipated to have been to the south across designed grounds and east to the drive, rather than being to the north and west.
- 7.174. The proposed development is anticipated to cause a low level of harm to the heritage significance of the Bolney Place via a change in setting, through a reduction in the modest historic illustrative value that the site as wider historic landholding associated with the house provides.

Providence Chapel

- 7.175. The Providence Chapel is not listed and has not been recorded on the West Sussex County Council Historic Environment Record. The building however has been identified by the Conservation Officer during pre-application discussions and will be considered as a non-designated heritage asset.
- 7.176. The Providence Chapel lies c.35m south of the Site and is located south of Cowfold Road and faces north. The Chapel is constructed of brick and has a pitched roof. A bulls eye window with arched moulding above, and three arched windows with arched moulding above are present along the north gable end of the Church. A smaller projection with the main entrance is located on the west elevation of the Church and has decorative brickwork, arched windows and moulding. Black sash windows are also present along the west elevation (Plate 128 to Plate 130).



Plate 128: Looking south from Cowfold Road towards northern elevation of Providence Church.



Plate 129: West elevation and churchyard from Bolney Chapel Road.



Plate 130: East elevation of the Church.

7.177. The earliest historic mapping of the Providence Chapel is shown on the 1878 map which was constructed around the mid-19th century. A burial ground is located west of the Chapel (Plate 131).

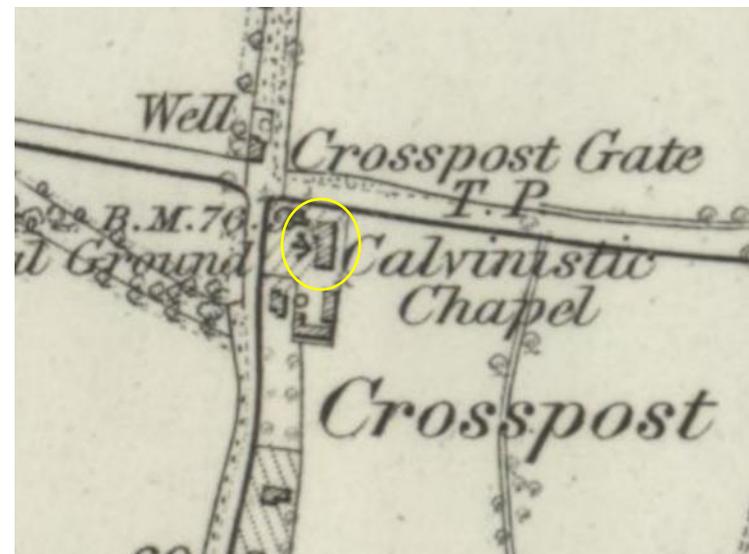


Plate 131: 1879 map, Providence Chapel circled in yellow.

- 7.178. The mid-19th century Chapel is non-conformist however was out of use by the late 20th century. In 1979, Planning Permission was approved for change of use from a Church to one private dwellinghouse (BK/O29/79). In 1981, planning permission was granted again for this change of use (BK/O47/80).
- 7.179. The Providence Church is positioned along Cowfold Road, southwest of the historic core of Bolney. The Church is located on the corner between Cowfold Road and Bolney Chapel Road. There are no other associated buildings with the Church.
- 7.180. Due to the presence of urban development along Cowfold Road, the Providence Church is best appreciated from within its churchyard at close

proximity which will allow the architectural and historic interest of the asset to be experienced.

Statement of Significance

7.181. Criteria for the selection of buildings for local listing / identification as a non-designated heritage status has not been formally established by Mid Sussex District Council.

7.182. In determining the significance of the building, an assessment of the Providence Church has been undertaken against Historic England's criteria for Local Heritage Listing in the table on the following pages.

Table 3: Assessment of the building against the local heritage list criteria within Historic England's Advice Note 7.

Historic England Local List Criteria	Assessment
Asset Type	The building is a former Church, and as such is an asset type that might be considered for local listing. However, the building no longer functions as a Church and is now in residential use.
Age	Assets of any age can be considered for local listing, but the majority of Locally Listed Buildings would be expected to date between 1850 and 1945. The Providence Church was constructed in the mid-19 th century therefore is considered to comply with this criterion.
Rarity	<p>The Providence Church represents a non-Conformist Church however is no longer in use as a place of worship. The Church was constructed to serve the communities within the surrounding area of Bolney, however does not represent an early or key building associated with the non-Conformist movement. No architect has been associated with the building, nor has any other key figure. Its ornamentation is simplistic and cannot be considered rare or unique.</p> <p>Thereby, the building would not be considered to comply with this criterion.</p>
Architectural and Artistic Interest	<p>The Providence Church comprises a two-storey building with pitched roof and projection along the west elevation for the main entrance. It is constructed of brick with arched windows along its elevations and large bulls eye window on the north gable end. Arched moulding can be seen above to windows and a churchyard lies to the west of the Church. The Church has since been converted for residential use which would have altered the internal layout of the Church to facilitate its use as a dwelling.</p> <p>Thereby, the building could be considered to comply with criterion, albeit noting that it has previously been altered from its original construction.</p>

Historic England Local List Criteria	Assessment
Group Value	<p>The building was constructed to serve the community of Bolney in the 19th century, however no associated buildings were constructed. There are no buildings within the immediate vicinity that are intervisible or co-visible with Providence Chapel that have an historic functional association with the building.</p> <p>Thereby, the building could not be considered to comply with this criterion.</p>
Archaeological Interest	<p>No elements of the historic environment have been recorded on the West Sussex County Council HER for the Site.</p> <p>Thereby, the building would not be considered to comply with this criterion.</p>
Historic Interest	<p>The Providence Church dates to the mid-19th century and was constructed to provide spiritual provision to the village of Bolney and surrounding communities. Its historic use as a place of worship contributes communal value.</p> <p>Thereby, the building could be considered to comply with this criterion.</p>
Landmark Status	<p>The Providence Church represents a modest former non-Conformist church. The building is not monumental and was not designed to be seen in far reaching views. Due to its architectural treatment and roadside location, it has modest landmark status.</p> <p>Thereby, the building could be considered to comply with this criterion.</p>

7.183. Whilst the Providence Church is not of a high significance and would not be considered for inclusion on the National List of buildings of special architectural and historic interest (i.e. statutorily Listed), it is of some local interest.

7.184. Its significance is primarily embodied in its physical form. Setting contributes but to a lesser degree. The elements of setting which principally contribute to its significance through setting comprise the settlement it served and the road it is located on.

Contribution of the Site

7.185. The site is located north of the Providence Church and does not share a historical functional association with the site.

7.186. The arable land north of the Church was part of the wider rural surrounds of the Church.

7.187. The site does not contribute to any key views associated with the Providence Church.

7.188. Glimpses of the Providence Church can be seen from Field 2 and more clearer views of the Church can be seen from Field 1 in the Site (Plate 132 to **Error! Reference source not found.**).



Plate 132: Looking south from the northwestern corner of Field 2, Church circled in yellow.



Plate 133: Looking south from northern boundary of Field 1, Church circled in yellow.



Plate 134: Southern boundary of the site, Church circled in yellow.

7.189. The Southern boundary of the site is lined with hedgerows and trees which provide seasonal screening of Cowfold Road and other urban development, such as the petrol station and Providence Church.

7.190. The site is considered to make a very modest contribution to the significance of the asset through setting, through illustrating its rural location historically.

Impact Assessment

7.191. The Providence Church is visible from Field 1 and visible in glimpses from Field 2. These areas are proposed for residential development. Additional vegetation and attenuation ponds are proposed along field boundary between Field 1 and 2, and along the southern boundary of the Site. This buffer will provide further screening between the Site and the chapel. The proposed development does not interrupt any key views associated with the Church.

7.192. A very low level of harm to the heritage significance of this non-designated heritage asset is anticipated.

Summary table of Assessment

Heritage Asset	Level of harm from proposed development
Grade II Listed Daltons	No harm
Grade II Listed Durstons	No harm
Grade II Listed Tanglewood	No harm
Grade II Listed Booker's Farmhouse	No harm
Grade II Listed Barn North East of Booker's Farmhouse	No harm
Grade II Listed Bolney Lodge	No harm
Grade II Listed Bolney Lodge Cottage	No harm
Grade, I Listed Church of St Mary Magdalene	Very low level of less than substantial harm
Grade II Listed Walnut and Well Cottage	Low level of less than substantial harm
Old Post Office (NDHA)	Very minor harm
Bolney Place (NDHA)	Low level of harm
Providence Chapel (NDHA)	Very low level of harm
Bolney Conservation Area	Low level of less than substantial harm

8. Conclusions

- 8.1. The site is a draft allocation in the Submission Draft District Plan.
- 8.2. Policy DPA14 of the draft Local Plan requires that development protects the setting of Well and Walnut Cottage and Bolney Conservation Area. The proposed masterplan, in which heritage matters have been a key consideration, is considered to comply with this, with development carefully sited to minimise impacts to views and additional perception of movement and noise. This has largely been achieved through the siting of the countryside open space in the land most visible from the Church, Listed cottage and wider Conservation Area. The design of the scheme, with a set back of development from the public footpath to the north and appropriate screening vegetation, also respects the character of the footpath which leads west from the northern part of the Conservation Area.
- 8.3. The Site Assessment Pro-forma for the Local Plan relating to the site, Land at Foxhole Farm, Bolney (ref.1120), assessed matters relating to Listed Buildings, Conservation Areas and Archaeology as 'Neutral'. This did not anticipate harm to assets, but rather identified 'low to mid' less than substantial harm for Listed buildings and 'Mid' less than substantial harm for the Conservation Area.
- 8.4. Through mitigation, as demonstrated by the above assessment, this harm has been reduced to low level of less than substantial harm for the Conservation Area and Well and Walnut Cottage and very low level of less than substantial harm for the Church of St Mary Magdalene.
- 8.5. This has been tested through verified views, which are provided in the above assessment.
- 8.6. As such, the development is considered to be within the levels of harm found to be acceptable when it was considered for allocation.
- 8.7. Further assessment has identified low and very low levels of harm to non-designated heritage assets comprising the former Post Office, Bolney Place and the Providence Chapel. These are modest levels of harm to assets of local interest.
- 8.8. Submission Draft District Plan requires that new development does not have an unacceptable impact upon the setting of heritage assets. Given that the impacts to designated heritage assets are considered to be lower than those found acceptable in the assessment of the site for allocation, and that impacts to non-designated heritage assets are modest, the impacts are not considered to be unacceptable.
- 8.9. Nonetheless, the impacts are considered against the public benefits of the scheme in the planning statement, including against paragraphs 215 and 216 of the NPPF.

Sources

Legislation
UK Public General Acts, Ancient Monuments and Archaeological Areas Act 1979.
UK Public General Acts, Planning (Listed Buildings and Conservation Areas) Act 1990.
UK Public General Acts, Planning and Compulsory Purchase Act 2004.
UK Public General Acts, Town and Country Planning Act 1990.

Policy and Guidance
Chartered Institute for Archaeologists (CIfA), <i>Standard and Guidance for Historic Environment Desk-Based Assessment</i> (revised edition, October 2020).
Ministry of Housing, Communities & Local Government (MHCLG), <i>National Planning Policy Framework (NPPF)</i> (London, December 2024).
Ministry of Housing, Communities & Local Government (MHCLG), <i>Planning Practice Guidance (PPG)</i> (revised February 2024).
English Heritage, <i>Conservation Principles: Policies and Guidance for the Sustainable Management of the Historic Environment</i> (London, April 2008).
Historic England, <i>Conservation Area Appraisal, Designation and Management, Historic England Advice Note 1</i> (2 nd edition, Swindon, February 2019).

Historic England, *Managing Significance in Decision-Taking in the Historic Environment: Historic Environment Good Practice Advice in Planning: 2* (2nd edition, Swindon, July 2015).

Historic England, *Statements of Heritage Significance: Analysing Significance in Heritage Assets, Historic England Advice Note 12* (Swindon, October 2019).

Historic England, *The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning Note 3* (2nd edition, Swindon, December 2017).

Court and Appeal Decisions

Barnwell Manor Wind Energy Ltd v (1) East Northamptonshire DC & Others [2014] EWCA Civ 137.

Bedford Borough Council v Secretary of State for Communities and Local Government [2013] EWHC 2847 (Admin).

Catesby Estates Ltd. V. Steer [2018] EWCA Civ 1697.

Jones v Mordue [2015] EWCA Civ 1243.

Kay, R (on the application of) v Secretary of State for Housing Communities and Local Government & Anor [2020] EWHC 2292 (Admin).

Palmer v Herefordshire Council & Anor [2016] EWCA Civ 1061.

R (Forge Field Society) v Sevenoaks District Council [2014] EWHC 1895 (Admin).

Cartographic Sources	
1842	Parish of Bolney Tithe Apportionment
1879	Ordnance Survey Map
1899	Ordnance Survey Map
1912	Ordnance Survey Map
1946	Ordnance Survey Map
1952	Ordnance Survey Map
2001	Google Earth Pro
2012	Google Earth Pro
2022	Google Earth Pro