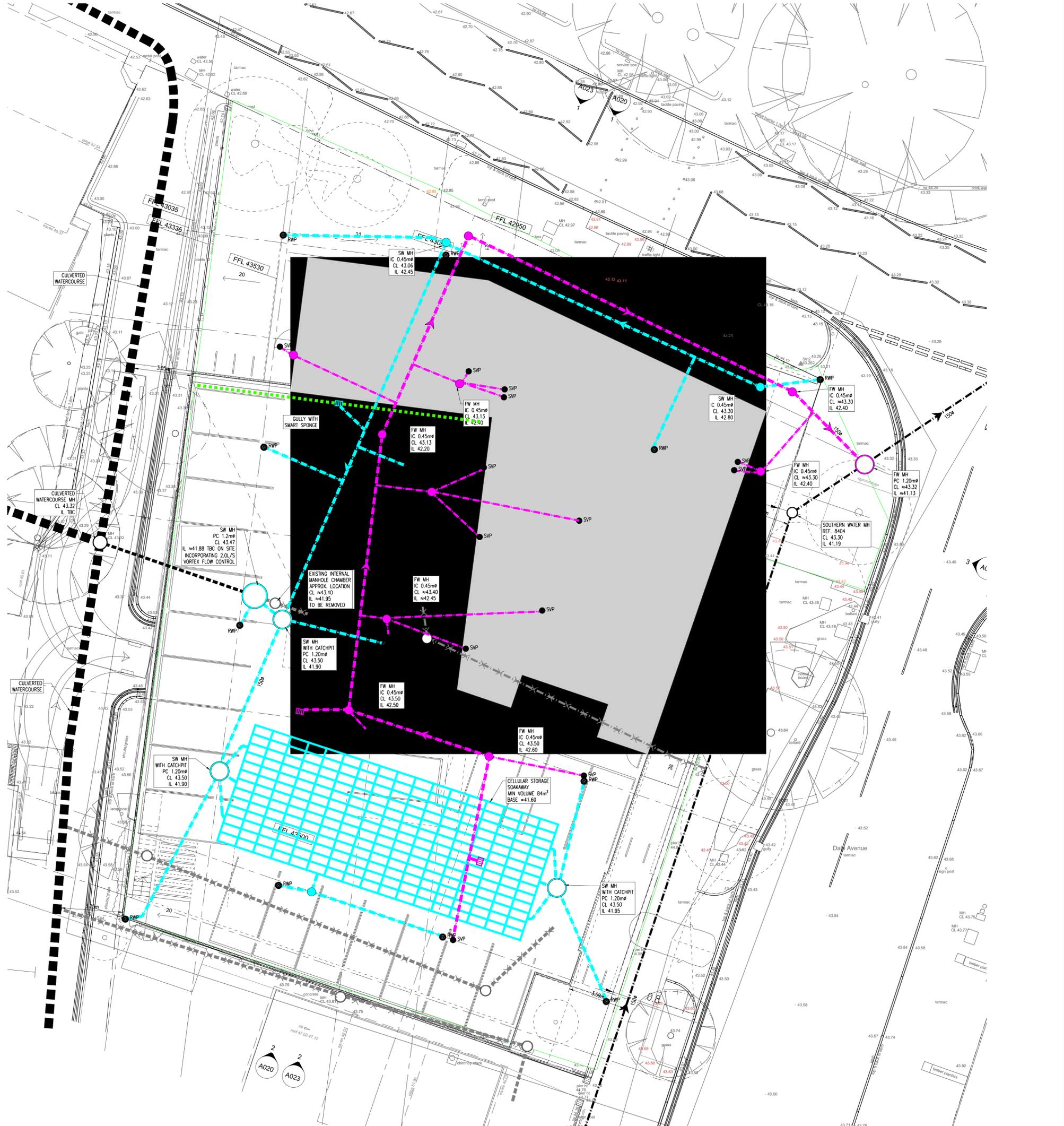




APPENDIX A – Site Location Plan & Drainage Strategy

1. GENERAL

- (i) This drawing is not to be scaled, work to figured dimensions only, confirmed on site.
- (ii) This drawing is to be read in conjunction with all relevant architectural drawings, detailed specifications where applicable and all associated drawings in this series.
- (iii) Any discrepancy on this drawing is to be reported immediately to the partnership for clarification.
- (iv) The contractor is responsible for all temporary works and for the stability of the works in progress.



2. DRAINAGE GENERAL

- (i) All foul and storm water drains which are not to be adopted as public sewers under a section 104 Agreement must be constructed in accordance with the Building Regulations, BS EN 752 and where appropriate the relevant agreement certificates.
- (ii) Manholes, gullies, gully connections, sewers and other sewerage structures intended to convey surface water are to be constructed in accordance with the Water Authorities Association Specification 'Sewers for Adoption' 7th Edition and relevant Council Design Guide.
- (iii) All concrete used in drainage works to comply with BRE Digest 363 for Class 2 sulphate conditions.

3. BELOW GROUND DRAINAGE

- (i) Pipework to be UPVC-U pipes to BS 4660 : 2000 and Inspection Chambers to BS 7158 : 2001.
- (ii) All adoptable drainage to be constructed in accordance with 'Sewers for Adoption' 7th Edition and the relevant Council Design Guide.
- (iii) All private surface water sewers to be laid at 1 in 80 unless otherwise stated on the drawing.
- (iv) All private foul water sewers to be laid at 1 in 40 at the head of pipe runs and 1 in 80 elsewhere unless otherwise stated.
- (v) All private foul sewer pipes to be 100mm diameter unless otherwise stated on the drawing. All private surface water sewer pipes to be 100mm diameter from downpipes and 150mm diameter elsewhere unless otherwise stated on the drawing.
- (vi) Allow for rodding access above ground where rainwater downpipes do not have a direct connection to an inspection chamber.
- (vii) Existing sewer pipe to be re-used to be surveyed and levelled prior to commencement of the drainage works and refurbished if necessary.
- (viii) Connections to an adopted sewer only to be made following approval from the relevant adopting Authority.
- (ix) All drains, sewer pipes and manholes to be cleaned and tested for water tightness on completion of construction.

4. PIPES

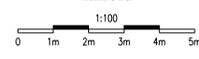
- (i) Plastic pipes shall be of unplasticised polyvinyl chloride (UPVC) complying with the requirements of BS EN 1401-1:2009.
- (ii) Concrete pipes shall be spun by a centrifugal process or be vertically pressed. They shall possess self inverting sockets and shall comply with the requirements of and be tested in accordance with BS 5911:2002.

LEGEND

	PROPOSED SURFACE WATER DRAIN
	PROPOSED FOUL WATER DRAIN
	EXISTING SURFACE WATER DRAIN
	EXISTING SURFACE WATER DRAIN TO BE ABANDONED
	EXISTING FOUL WATER SEWER
	EXISTING FOUL WATER DRAIN TO BE ABANDONED
	PROPOSED CONCRETE MANHOLE
	PROPOSED PLASTIC INSPECTION CHAMBER (PPIC)
	HIGHWAY GULLY
	SOIL AND VENT PIPE
	RAIN WATER PIPE
	PROPOSED CHANNEL DRAIN

REVISED TO COUNCIL COMMENTS	TRB AK	01.05.25	P02
ISSUED FOR PLANNING	PCA AK	16.12.24	P01
Description			
FOR PLANNING			
NOT FOR CONSTRUCTION			
Title			
DRAINAGE DESIGN			
Project			
60 KEYMER ROAD HASOCKS			
Client			
STAR GARAGES (BRIGHTON) LIMITED			

HOP CONSULTING CIVIL AND STRUCTURAL ENGINEERS
 HOP House, 41 Church Road
 Hove, East Sussex BN3 2BE
 www.hop.uk.com
 ask@hop.uk.com
 +44 (0)1273 223900



© Copyright 1:20 0 0.2m 0.4m 0.6m 0.8m 1m 1.5m 2m 2.5m 3m 4m 5m

1. GENERAL

- (i) This drawing is not to be scaled, work to figured dimensions only, confirmed on site.
- (ii) This drawing is to be read in conjunction with all relevant architectural drawings, detailed specifications where applicable and all associated drawings in this series.
- (iii) Any discrepancy on this drawing is to be reported immediately to the partnership for clarification.
- (iv) The contractor is responsible for all temporary works and for the stability of the works in progress.

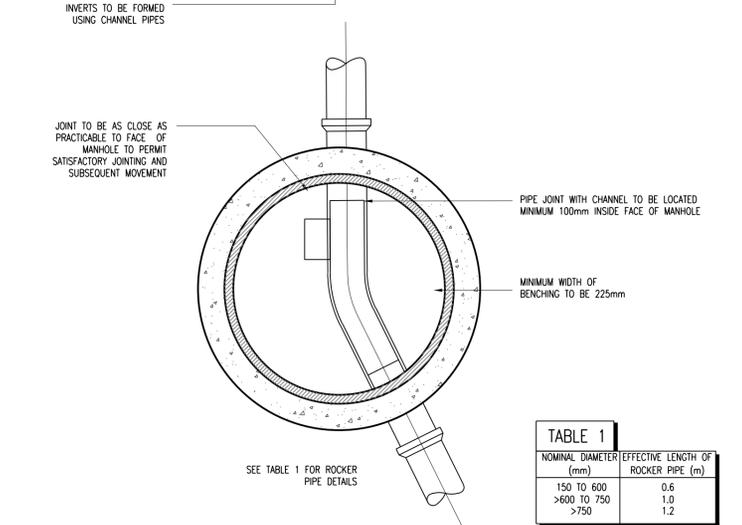
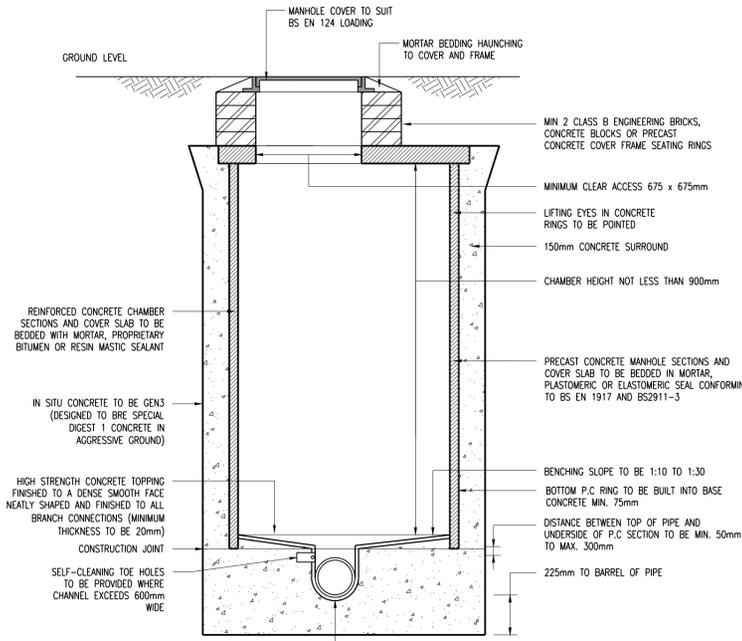
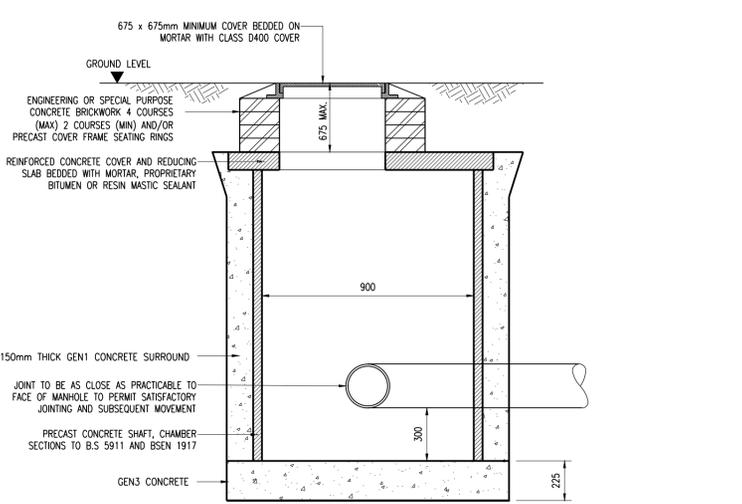
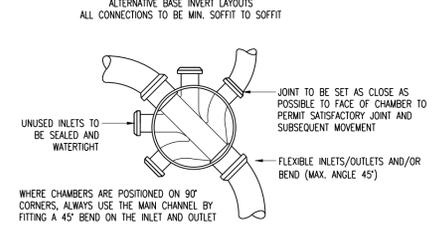
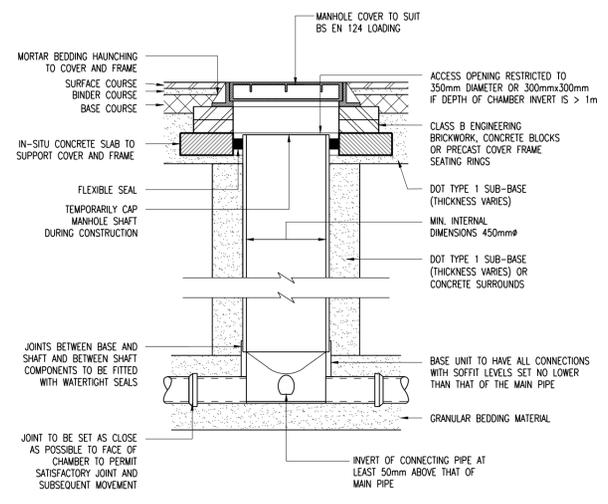


TABLE 1	
NOMINAL DIAMETER (mm)	EFFECTIVE LENGTH OF ROCKER PIPE (m)
150 TO 600	0.6
>600 TO 750	1.0
>750	1.2

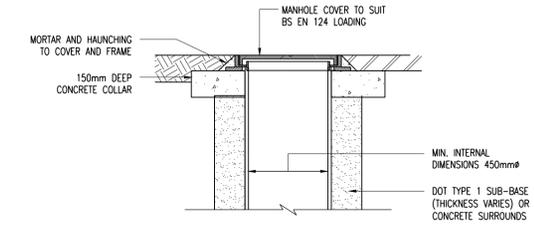
TYPE 2 MANHOLE
(DEPTH FROM COVER LEVEL TO SOFFIT OF PIPE LESS THAN 3.0m)
(1:20)



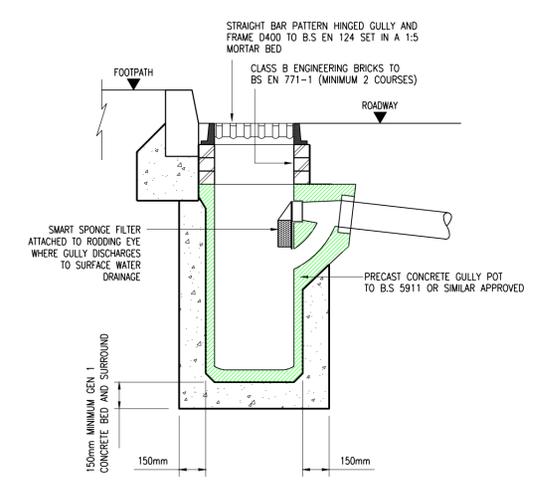
CATCHPIT TO INVERT 0.9m TO 2.7m
(1:20)



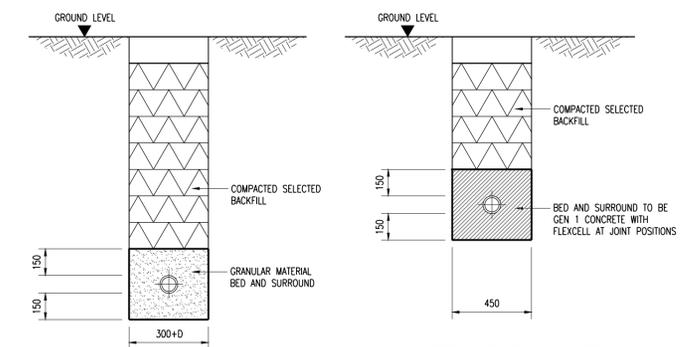
TYPE 3 ACCESS CHAMBER - FLEXIBLE MATERIAL
(SUBJECT TO VEHICLE LOADING, MAX. DEPTH 3m, NON-ENTRY)
(1:20)



TYPE 3 ACCESS CHAMBER - FLEXIBLE MATERIAL
(SUBJECT TO LIGHT TRAFFIC LOADS, MAX. DEPTH 3m, NON-ENTRY)
(1:20)

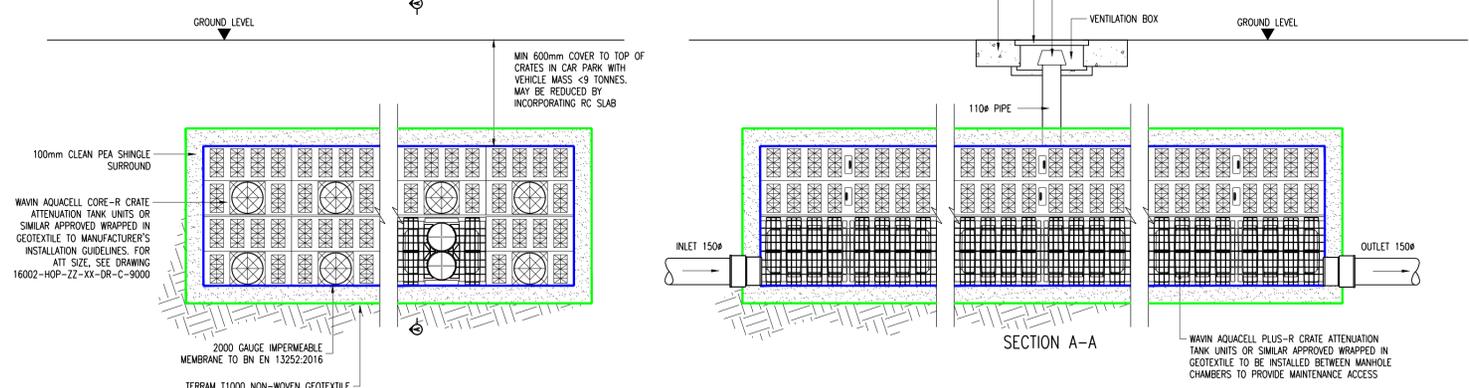


ROAD GULLY WITH SMART SPONGE
(INSTALL SMART SPONGE TO MANUFACTURER'S GUIDANCE)
(1:20)

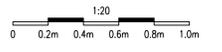


GRANULAR BEDDING DETAIL (WHERE COVER >600mm) (1:20)
CONCRETE BEDDING DETAIL (WHERE COVER <600mm) (1:20)

NOTE
ALL BACKFILLING AND REINSTATEMENT WITHIN ROADS AND STREETS TO BE IN ACCORDANCE WITH THE HIGHWAY AUTHORITY AND HAUC SPECIFICATION



CRATE ATTENUATION TANK DETAIL
(1:20)



FIRST ISSUE	TRB/AK	01.05.25	P01
Description	By	Appr. Date	Rev.
PRELIMINARY DRAWING NOT FOR CONSTRUCTION			

Title
DRAINAGE DETAILS

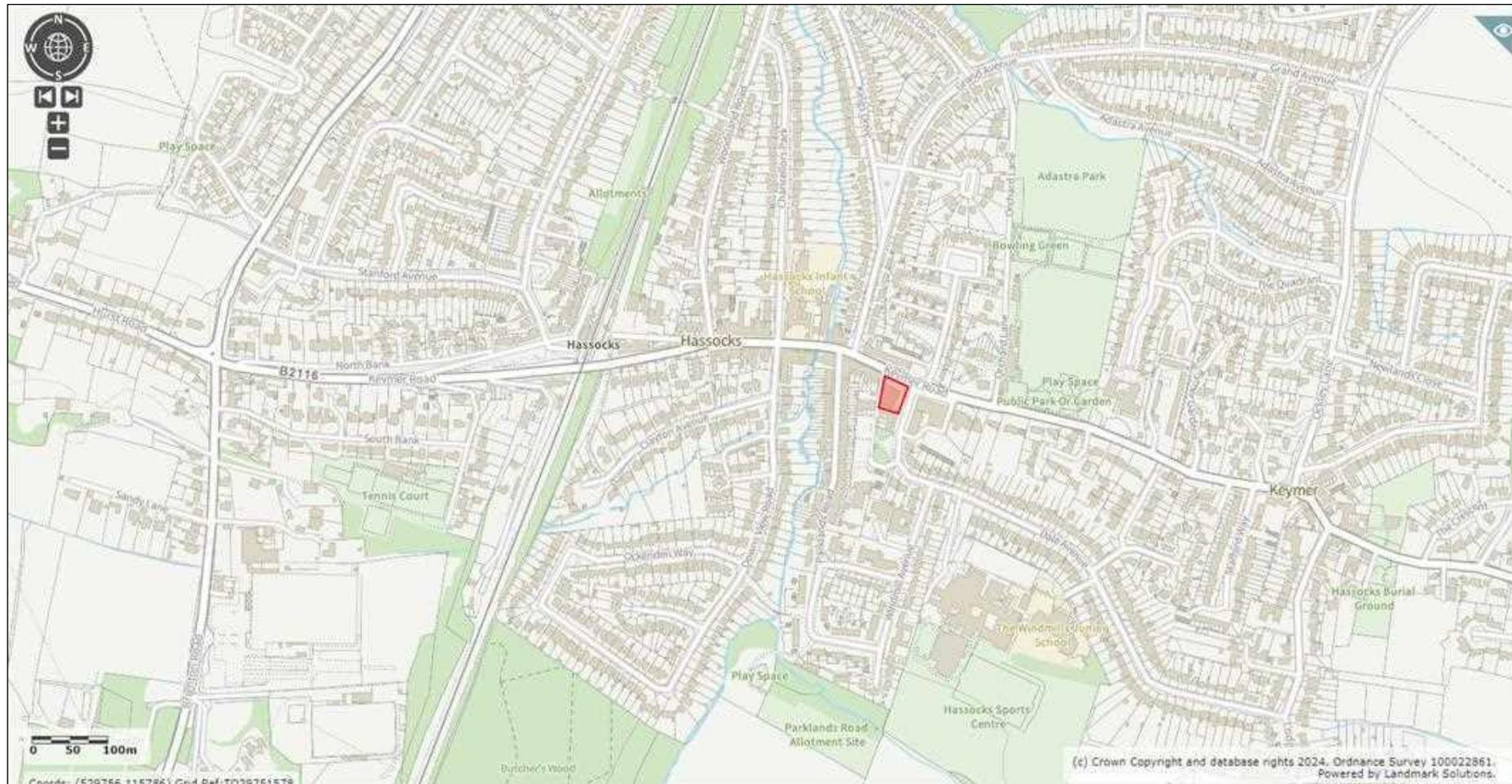
Project
60 KEYMER ROAD HASSOCKS

Client
STAR GARAGES (BRIGHTON) LIMITED

HOP CONSULTING CIVIL AND STRUCTURAL ENGINEERS
HOP House, 41 Church Road Hove, East Sussex BN3 2BE
www.hop.uk.com
ask@hop.uk.com
+44 (0)1273 223900

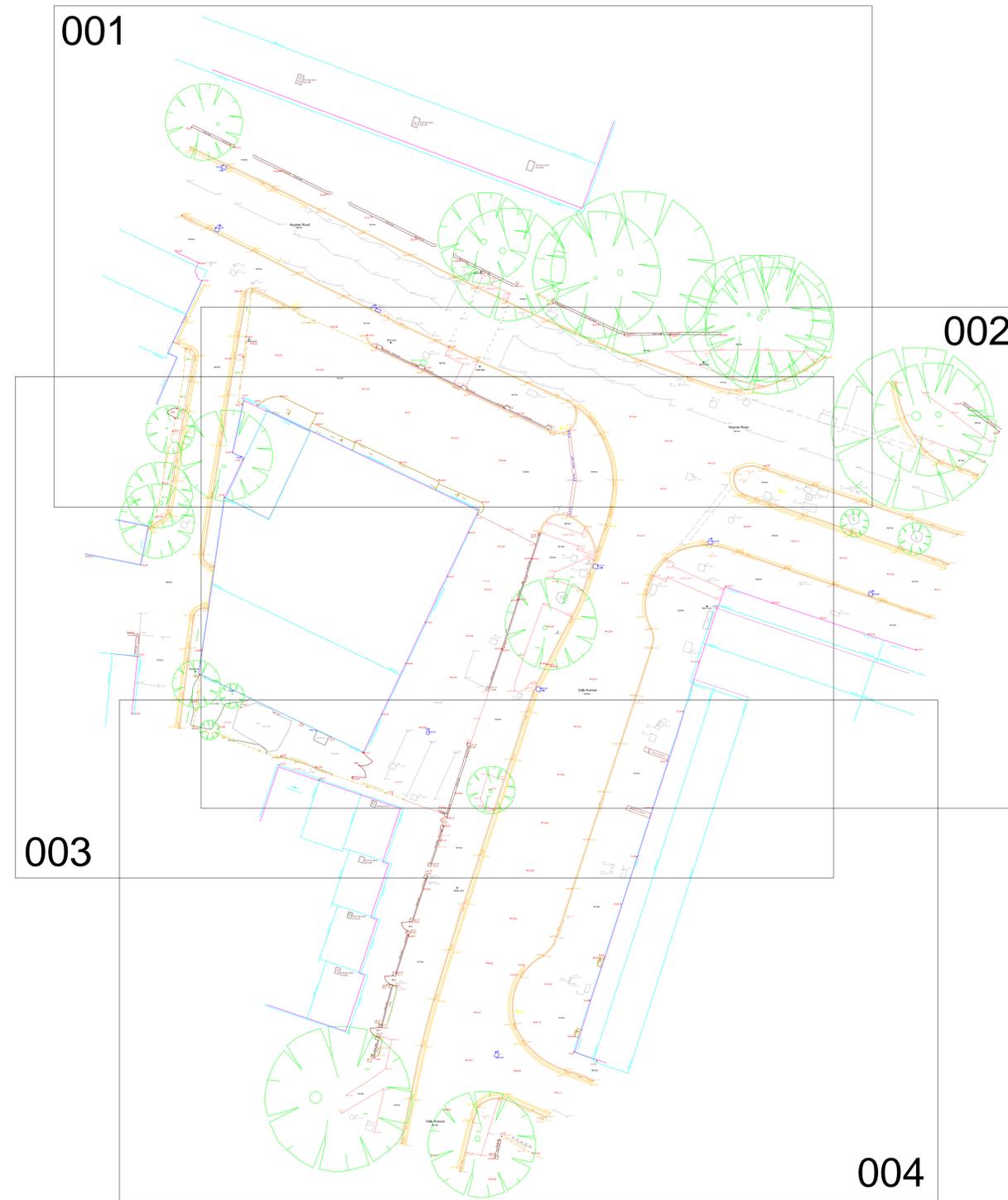
© Copyright 1:20 0 0.2m 0.4m 0.6m 0.8m 1m 1.50 0 0.5m 1m 1.5m 2m 2.5m 1:100 0 1m 2m 3m 4m 5m

LOCATION MAP FOR: **60 KEYMER ROAD, HASSOCKS, BN6 8AR**





APPENDIX B – Topographical Survey



NOTES
 SURVEY IS BASED ON OS GRID SYSTEM
 ORIGINATING FROM STATION 1
 @ E 530807.552, N 115477.484, RL 42.755

LAYER INFORMATION

0	Blank	EMPTY
1	Bottom of bank	Downed bank arrows
2	Building Lines	Black to black edges
3	Building Lines	Topcorn line and markers
4	Edge of Concrete	Building outlines
5	Edge of Road	Edge of concrete surface
6	Edge of Road	Edge of road surface
7	Footpath	Edge of footpath
8	Footpath	Ground, fence and boundary lines
9	Footpath	Waste water line
10	Footpath	Edge of footpath or surface changes
11	Footpath	Waste water line
12	Footpath	Edge of footpath
13	Footpath	Edge of footpath
14	Footpath	Edge of footpath
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96	Footpath	Edge of footpath
97	Footpath	Edge of footpath
98	Footpath	Edge of footpath
99	Footpath	Edge of footpath
100	Footpath	Edge of footpath

Line types and Symbols

Building Lines	100.40	Garden Line	Scrub Line	Road Markings	Hedge Line
Rooflines	100.40	Gullies / Waste Water	Man holes & Flow	Walls	Steps
Top & Back of Kerb	100.40	Man holes & Flow	Trees	Walls	Steps
Edge of Surface / Footpath	100.40	Man holes & Flow	Spot Levels	Walls	Steps
Edge of Road	100.40	Man holes & Flow	Spot Levels	Walls	Steps
Edge of Concrete	100.40	Man holes & Flow	Spot Levels	Walls	Steps
Top of bank	100.40	Man holes & Flow	Spot Levels	Walls	Steps
Bottom of bank	100.40	Man holes & Flow	Spot Levels	Walls	Steps
Fence / Handrail	100.40	Man holes & Flow	Spot Levels	Walls	Steps
Overhead Cables	100.40	Man holes & Flow	Spot Levels	Walls	Steps

Control Stations

Point Number	Easting	Northing	Elevation	Description
SW1	530807.552	115477.484	42.755	HELVIAAL
SW2	530807.552	115477.484	42.755	HELVIAAL
SW3	530807.552	115477.484	42.755	HELVIAAL
SW4	530807.552	115477.484	42.755	HELVIAAL



Rev.	Date	Description

Client		Hemsley Orrell Partnership	
Drawing Title		Layout	
Scale	Date	Drawn	Checked
Not to Scale	01/04/21	DH	SE
Surveyed by		AR	

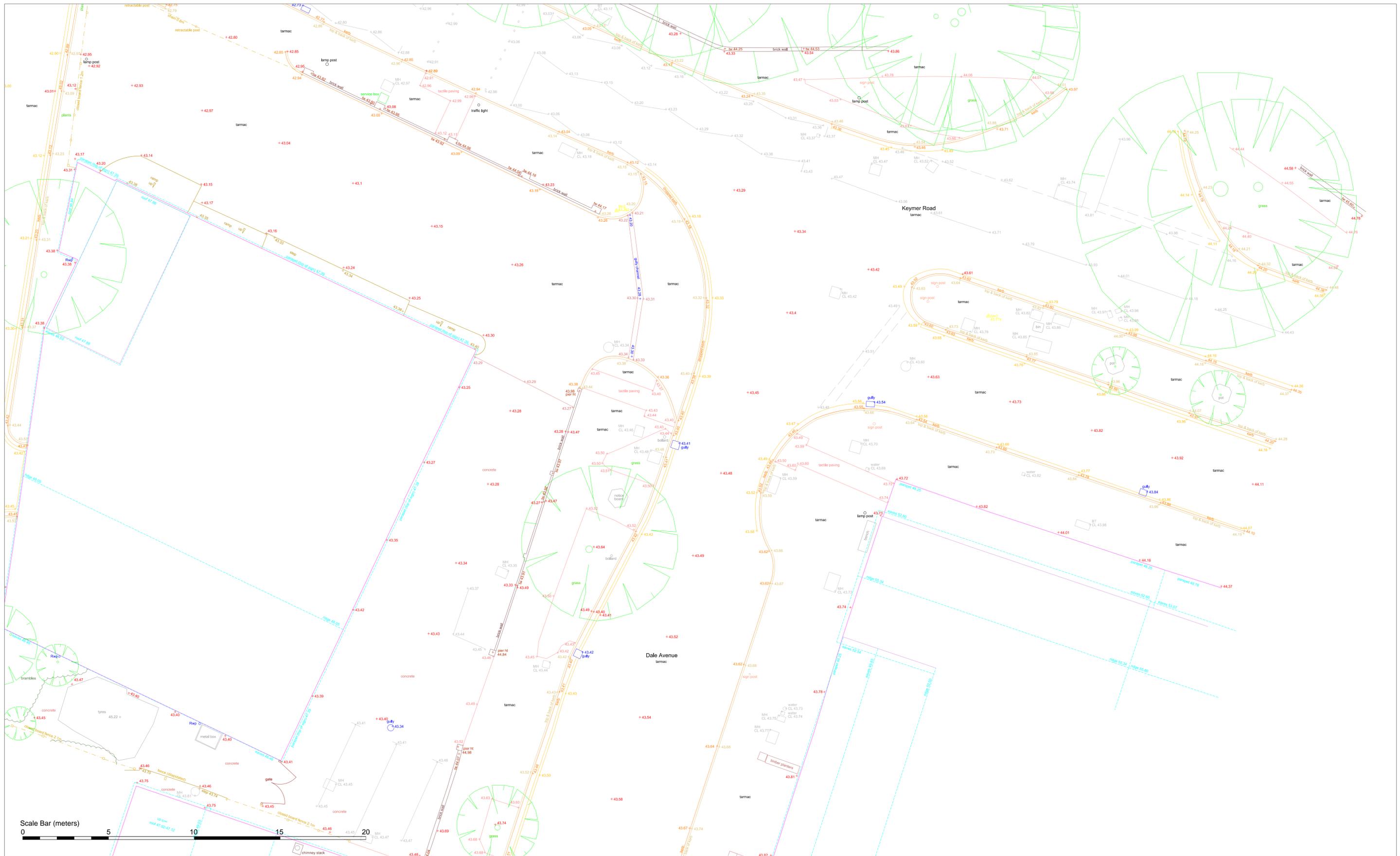
SeSurveying

Job Title: Star Garages, 60 Keymer Road, Hassocks

Job No: 015 03 21

Drawing No: Layout

Rev: -



NOTES
 SURVEY IS BASED ON OS GRID SYSTEM
 ORIGINATING FROM STATION 1
 @ E 530807.552, N 115477.484, RL 42.755

LAYER INFORMATION

Bank	EMPTV
Boundary of Bank	Downed bare wires
Boundary Lines	Downed bare wires
Edge of Concrete	Edge of concrete surface
Edge of Road Surface	Edge of road surface
Fence	Fence
Footpath	Footpath
Gully	Gully
Hedge	Hedge
Manhole	Manhole
Manhole Cover	Manhole cover
Overhead Cables	Overhead cables and utility poles
Plant	Plant
Road Markings	Road markings
Roofline	Roofline
Sign Post	Sign post
Spot Levels	Spot levels
Top and Back of Kerb	Top and back of kerb
Tree	Tree
Utility Structure	Utility structure

Line types and Symbols

Building Lines	100.40
Rooflines	100.40
Top & Back of Kerb	100.40
Edge of Surface / Footpath	100.40
Edge of Road	100.40
Edge of Concrete	100.40
Top of bank	100.40
Bottom of bank	100.40
Fence / Handrail	100.40
Overhead Cables	100.40
Garden Line	100.40
Scrub Line	100.40
Gullies / Waste Water	100.40
Man holes & Flow	100.40
Trees	100.40
Spot Levels	100.40
Road Markings	100.40
Hedge Line	100.40
Walls	100.40
Steps	100.40
Plant	100.40
Gates	100.40

Control Stations

Point Number	Existing	Co-ordinates in OSGB	Remarks
SP1	15477.484	42.755	HELMET
SP2	11547.484	42.755	HELMET
SP3	11547.484	42.755	HELMET
SP4	11547.484	42.755	HELMET

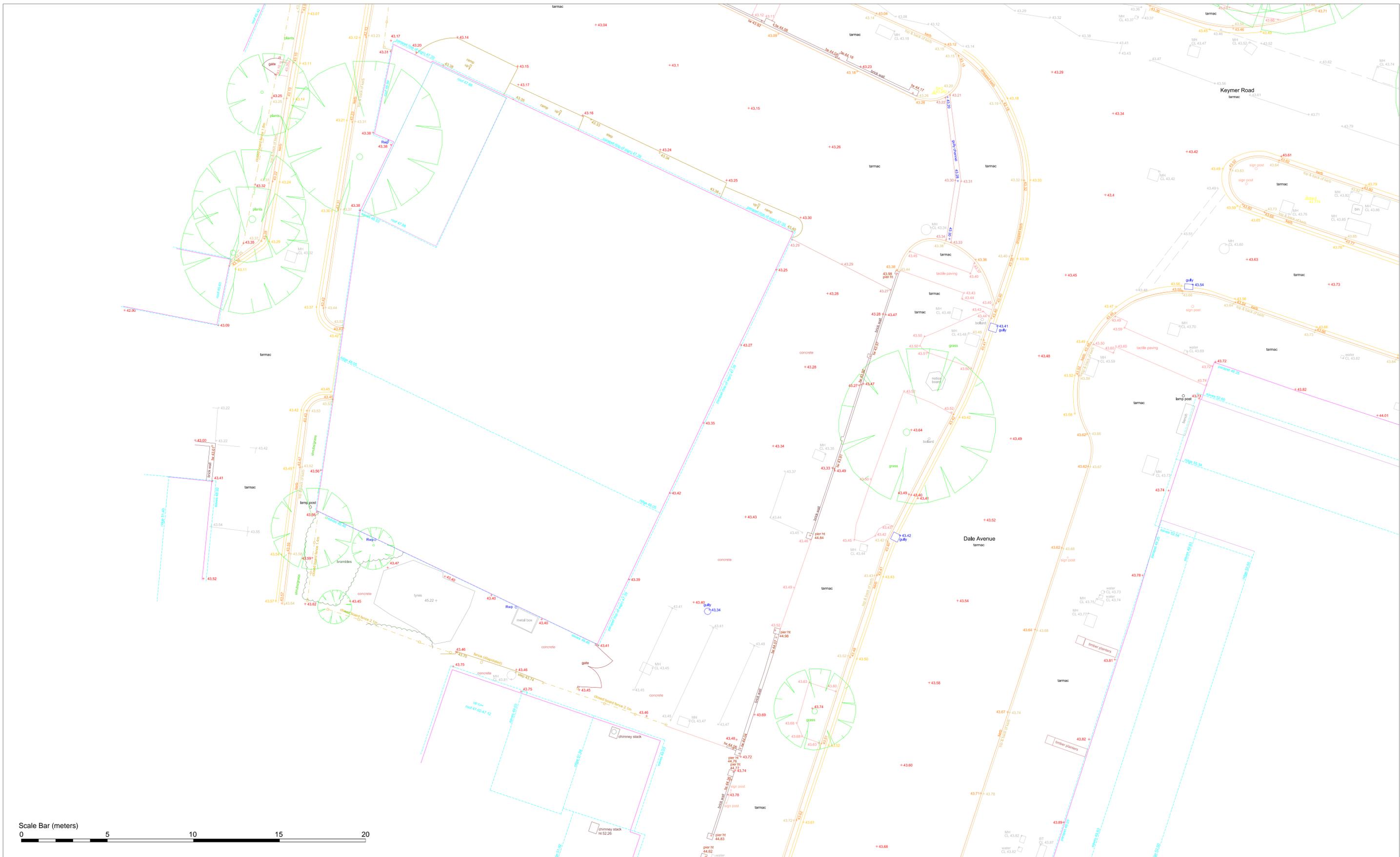
Orientation

Rev.	Date	Description

Client		Hemsley Orrell Partnership	
Drawing Title		Topographical Survey P2/4	
Scale		1:100 @ A1	
Date	Drawn	Job No.	Drawing No.
01/04/21	DH	015 03 21	002
Surveyed by	Checked	Rev.	-
AR	SE		



Star Garages, 60 Keymer Road, Hassocks



NOTES
 SURVEY IS BASED ON OS GRID SYSTEM
 ORIGINATING FROM STATION 1
 @ E 530807.552, N 115477.484, RL 42.755

LAYER INFORMATION

- Bank
- Bottom of Bank
- Boundary Lines
- Edge of Concrete
- Edge of Road
- Edge of Footpath
- Fences
- Footpath
- Gullies
- Gully
- Hedge
- Manholes
- Lanes
- Overhead Cables
- Plant
- Road Markings
- Roadlines
- Sign Posts
- Spot Levels
- Top and Back of Kerb
- Top of Bank
- Trees
- Unexcavated Structure
- Walls

Line types and Symbols

- Building Lines
- Roadlines
- Top & Back of Kerb
- Edge of Surface / Footpath
- Edge of Road
- Edge of Concrete
- Top of bank
- Bottom of bank
- Fence / Handrail
- Overhead Cables

Garden Line

- Scrub Line
- Gullies / Waste Water
- Man holes & Flow
- Trees
- Spot Levels

Road Markings

- Hedge Line
- Walls
- Steps
- Plant
- Gates

Control Stations

Point Number	Ending	Beginning	Coordinates in OSGB	Division
BM	530807.552	115477.484	42.755	HELM
BM	530808.000	115480.000	42.800	HELM
BM	530809.500	115483.500	42.750	HELM
BM	530810.000	115487.000	42.800	HELM

Orientation



Rev.

Rev.	Date	Description

Client

Hemsley Orrell Partnership

Drawing Title

Topographical Survey P3/4

Job Title

Star Garages, 60 Keymer Road, Hassocks

Scale

1:100 @ A1

Date

01/04/21

Drawn

DH

Checked

SE

Job No.

015 03 21

Drawing No.

003

Rev.

-



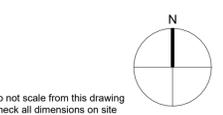


APPENDIX C – Architectural Proposals



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Location Plan



Do not scale from this drawing
Check all dimensions on site

Rev	Purpose	Date
00	Planning Pre App	12.12.2023
01	Design Review Panel	03.09.2024

CONSULTANT COORDINATION 05.11.24

Bowen & McLachlan

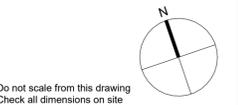
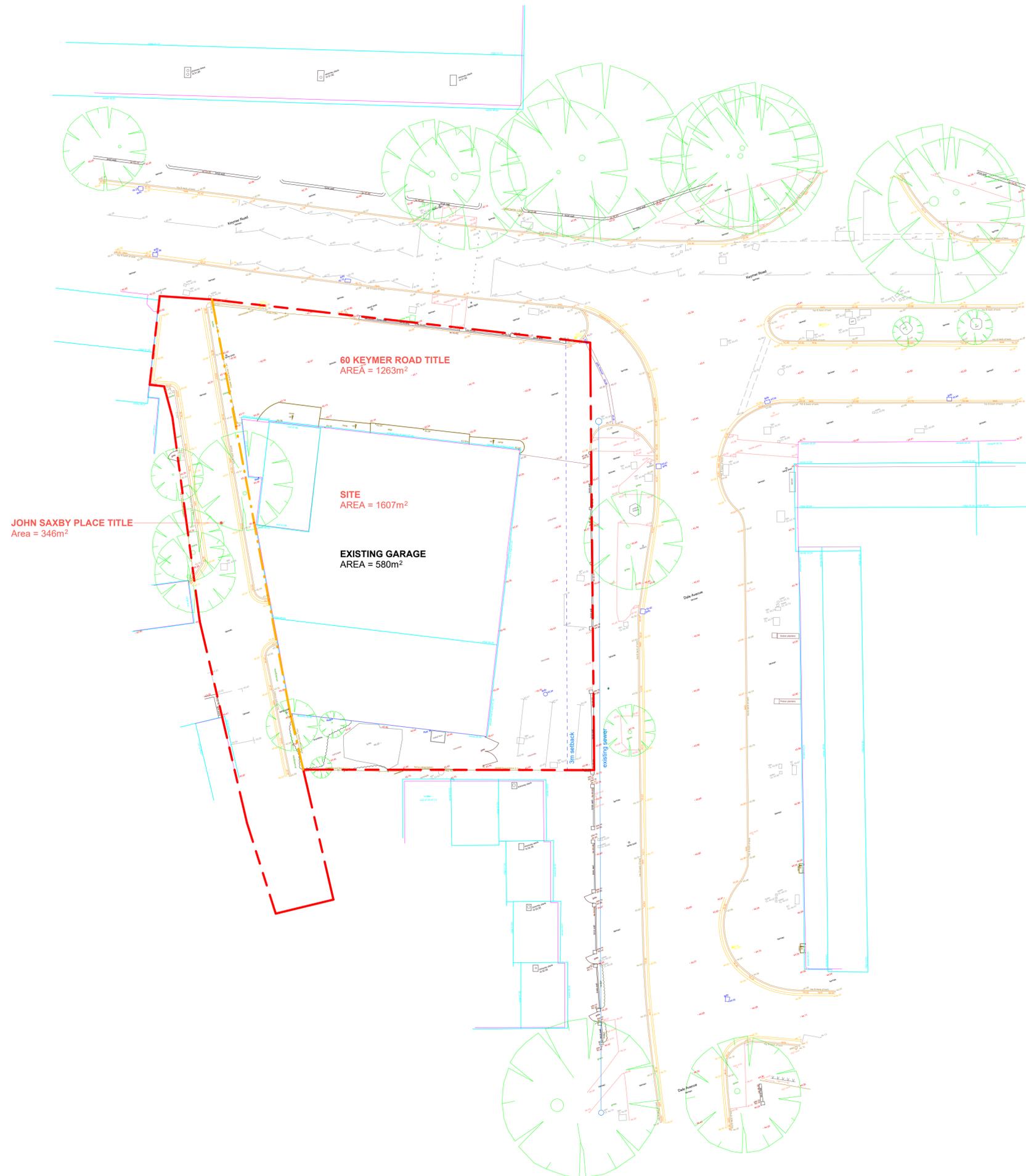
Bowen & McLachlan Ltd
454 Leeston & Lake Road, Leeston 7603, NZ
contact: b+mcl@outlook.com +64 27 356 1245

KEYMER HOUSING

Client: Star Garages (Brighton) Ltd
Project Address:
60 Keymer Rd, Hassocks BN6 8AR, UK

Project No:	BMCL005
Scale at A1:	as indicated
Drawing No:	Revision:

A001 01



Rev	Purpose	Date
00	Planning Pre App	12.12.2023
01	Design Review Panel	03.09.2024

CONSULTANT COORDINATION 05.11.24

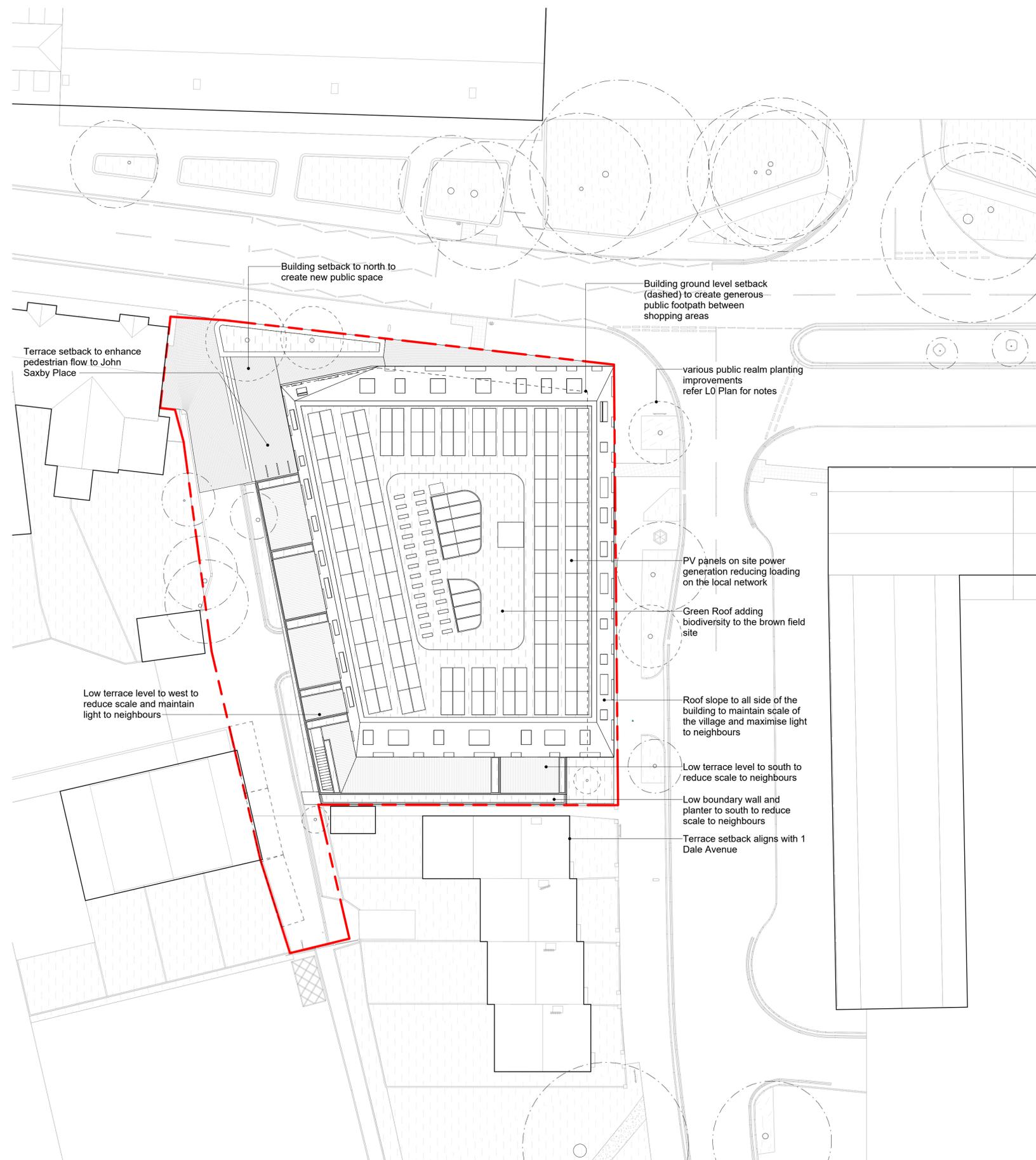
Bowen & McLachlan

Bowen & McLachlan Ltd
 454 Leeston & Lake Road, Leeston 7603, NZ
 contact: b-mcl@outlook.com +64 27 356 1245

KEYMER HOUSING

Client: Star Garages (Brighton) Ltd
 Project Address:
 60 Keymer Rd, Hassocks BN6 8AR, UK

Project No:	BMCL005
Scale at A1:	1:200
Drawing No:	Revision:



Do not scale from this drawing
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Rev	Purpose	Date
00	Planning Pre App	12.12.2023
01	Design Review Panel	03.09.2024

CONSULTANT COORDINATION 05.11.24

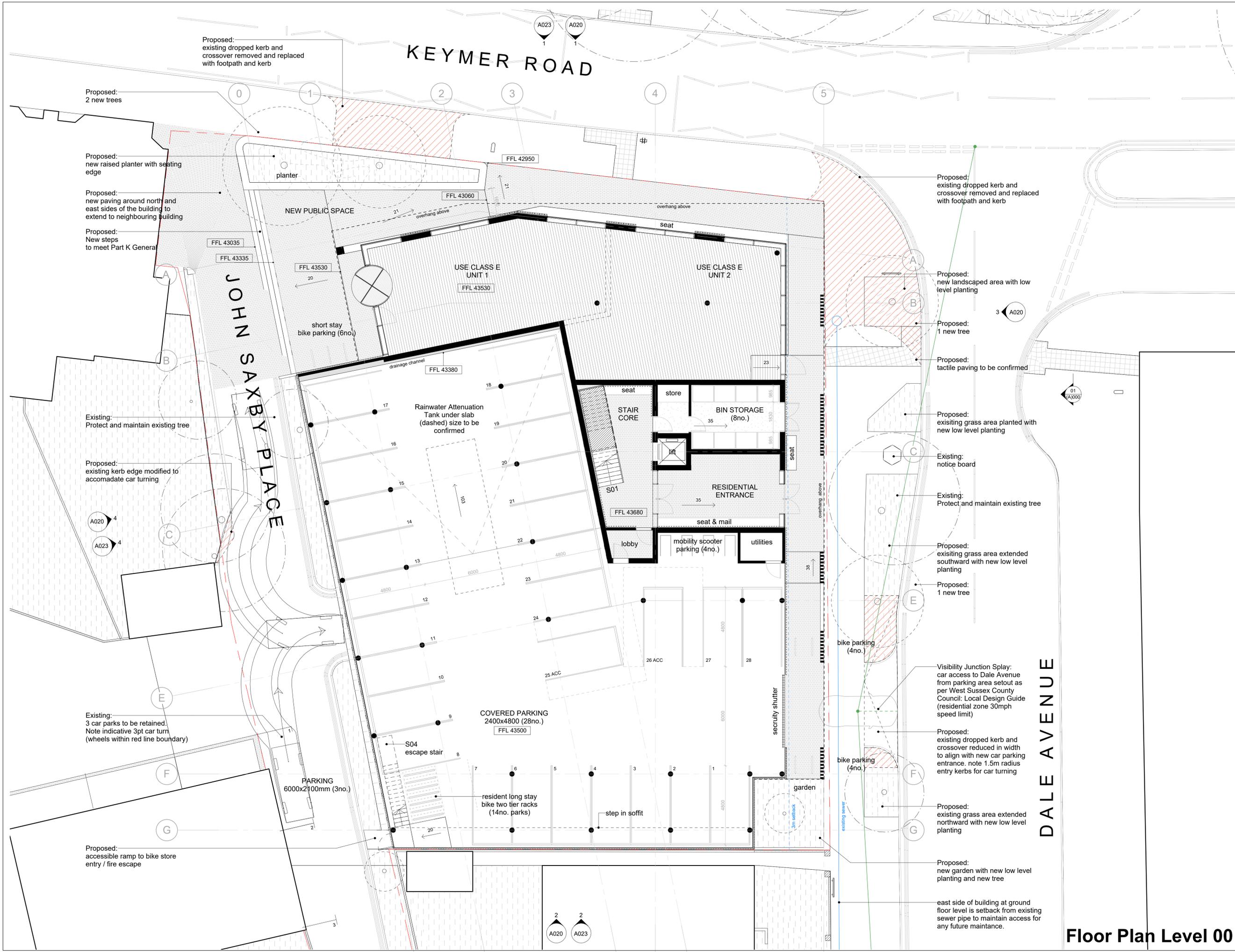
Bowen & McLachlan

Bowen & McLachlan Ltd
454 Leeston & Lake Road, Leeston 7683, NZ
contact: b-mcl@outlook.com +64 27 356 1245

KEYMER HOUSING

Client: Star Garages (Brighton) Ltd
Project Address:
60 Keymer Rd, Hassocks BN6 8AR, UK

Project No:	BMCL005
Scale at A1:	1:200
Drawing No:	Revision:



Do not scale from this drawing
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Rev	Purpose	Date
00	Planning Pre App	12.12.2023
01	Design Review Panel	03.09.2024

CONSULTANT COORDINATION 05.11.24

Bowen & McLachlan

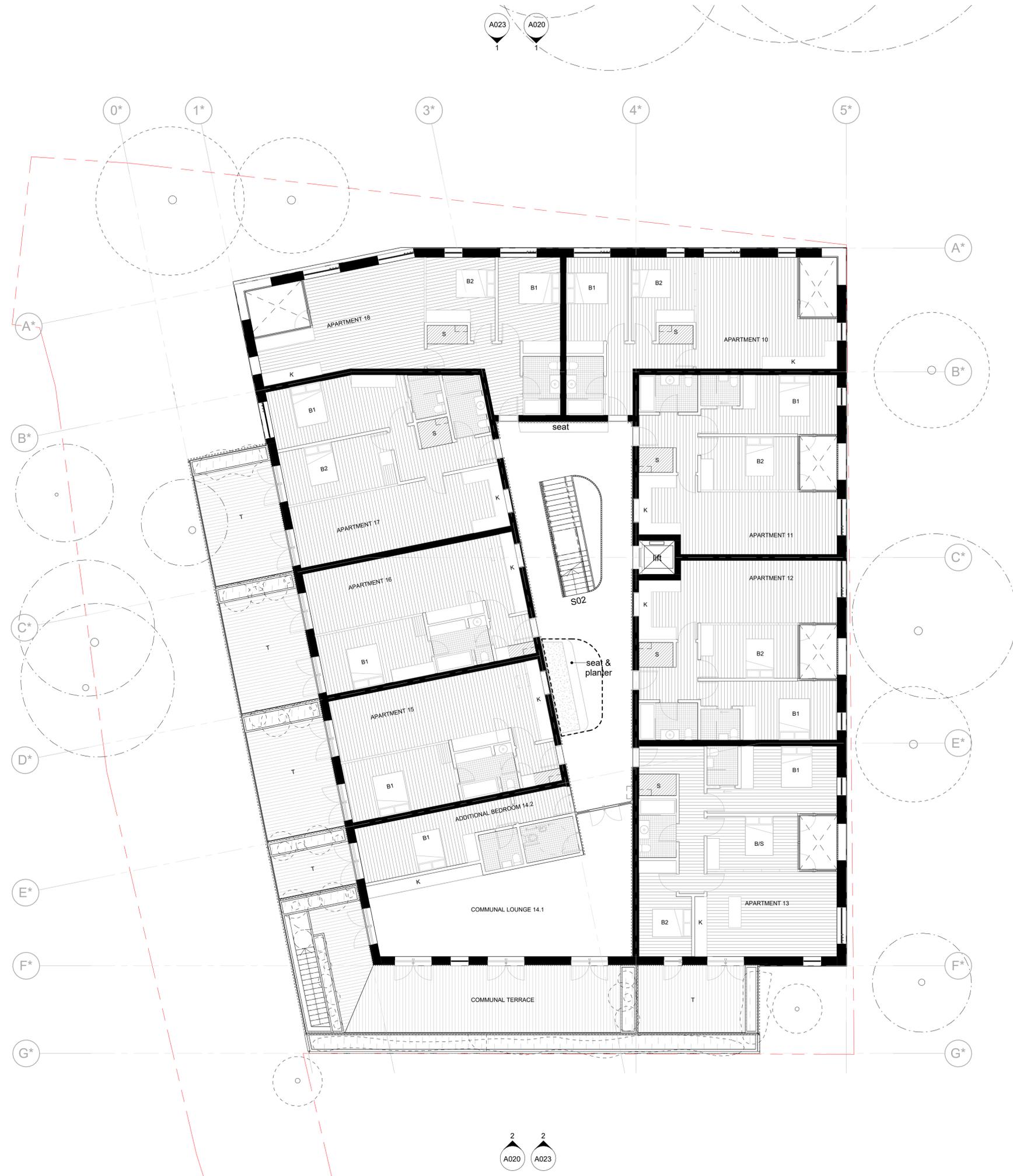
Bowen & McLachlan Ltd
454 Leiston & Lake Road, Leiston 7683, NZ
contact: b-mcl@outlook.com +64 27 356 1245

KEYMER HOUSING

Client: Star Garages (Brighton) Ltd
Project Address:
60 Keymer Rd, Hassocks BN6 8AR, UK

Project No:	BMCL005
Scale at A1:	1:100
Drawing No:	Revision:

Floor Plan Level 00 **A010** **01**



TECHNICAL HOUSING REQUIREMENTS

Nationally described standard 2015

ROOM	MIN WIDTH	MIN AREA
principal double Bed	2750 mm	11.5 m ²
other double Bed	2550 mm	NA
other single Bed	2150 mm	7.5 m ²
outdoor Space for 2p	1500mm	5.0 m ²
per additional occupants	NA	+1.0 m ²

PLAN LEGEND

Bedroom Principle	B1
Bedroom	B2
Bedroom / Study	B/S
Dining	D
Entry (Fire Rated)	E
Kitchen	K
Living	L
Storage	S
Terrace	T
Utility	U
Water Closet	W
Bath	BTH
Clothes Dryer	DRY
Dishwasher	DW
Fridge Freezer	FF
Shower	SHW
Sink	SNK
Laundry Tub	TUB
Water Closet	WC
Wash Hand Basin	WHB
Washing Machine	WM

Do not scale from this drawing
Check all dimensions on site

Rev Purpose Date
00 Planning Pre App 12.12.2023
01 Design Review Panel 03.09.2024

CONSULTANT COORDINATION 05.11.24

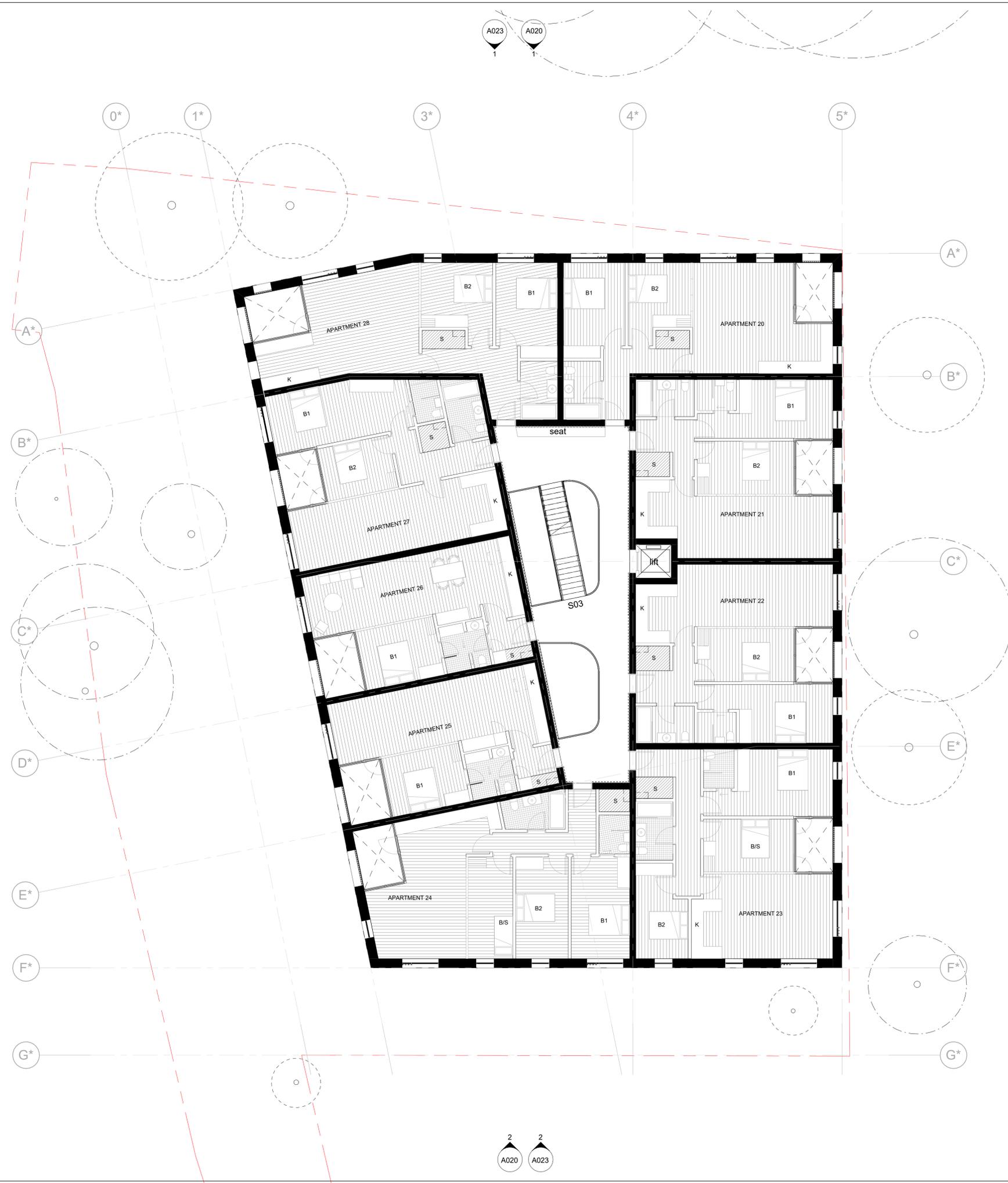
Bowen & McLachlan

Bowen & McLachlan Ltd
454 Leeston & Lake Road, Leeston 7603, NZ
contact: b-mcl@outlook.com +64 27 356 1245

KEYMER HOUSING

Client: Star Garages (Brighton) Ltd
Project Address:
60 Keymer Rd, Hassocks BN6 8AR, UK

Project No:	BMCL005
Scale at A1:	1:100
Drawing No:	Revision:



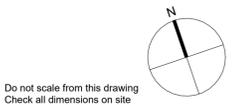
TECHNICAL HOUSING REQUIREMENTS

Nationally described standard 2015

ROOM	MIN WIDTH	MIN AREA
principal double Bed	2750 mm	11.5 m ²
other double Bed	2550 mm	NA
other single Bed	2150 mm	7.5 m ²
outdoor Space for 2p	1500mm	5.0 m ²
per additional occupants	NA	+1.0 m ²

PLAN LEGEND

Bedroom Principle	B1
Bedroom	B2
Bedroom / Study	B/S
Dining	D
Entry (Fire Rated)	E
Kitchen	K
Living	L
Storage	S
Terrace	T
Utility	U
Water Closet	W
Bath	BTH
Clothes Dryer	DRY
Dishwasher	DW
Fridge Freezer	FF
Shower	SHW
Sink	SNK
Laundry Tub	TUB
Water Closet	WC
Wash Hand Basin	WHB
Washing Machine	WM



Do not scale from this drawing
Check all dimensions on site

Rev	Purpose	Date
00	Planning Pre App	12.12.2023
01	Design Review Panel	03.09.2024

CONSULTANT COORDINATION 05.11.24

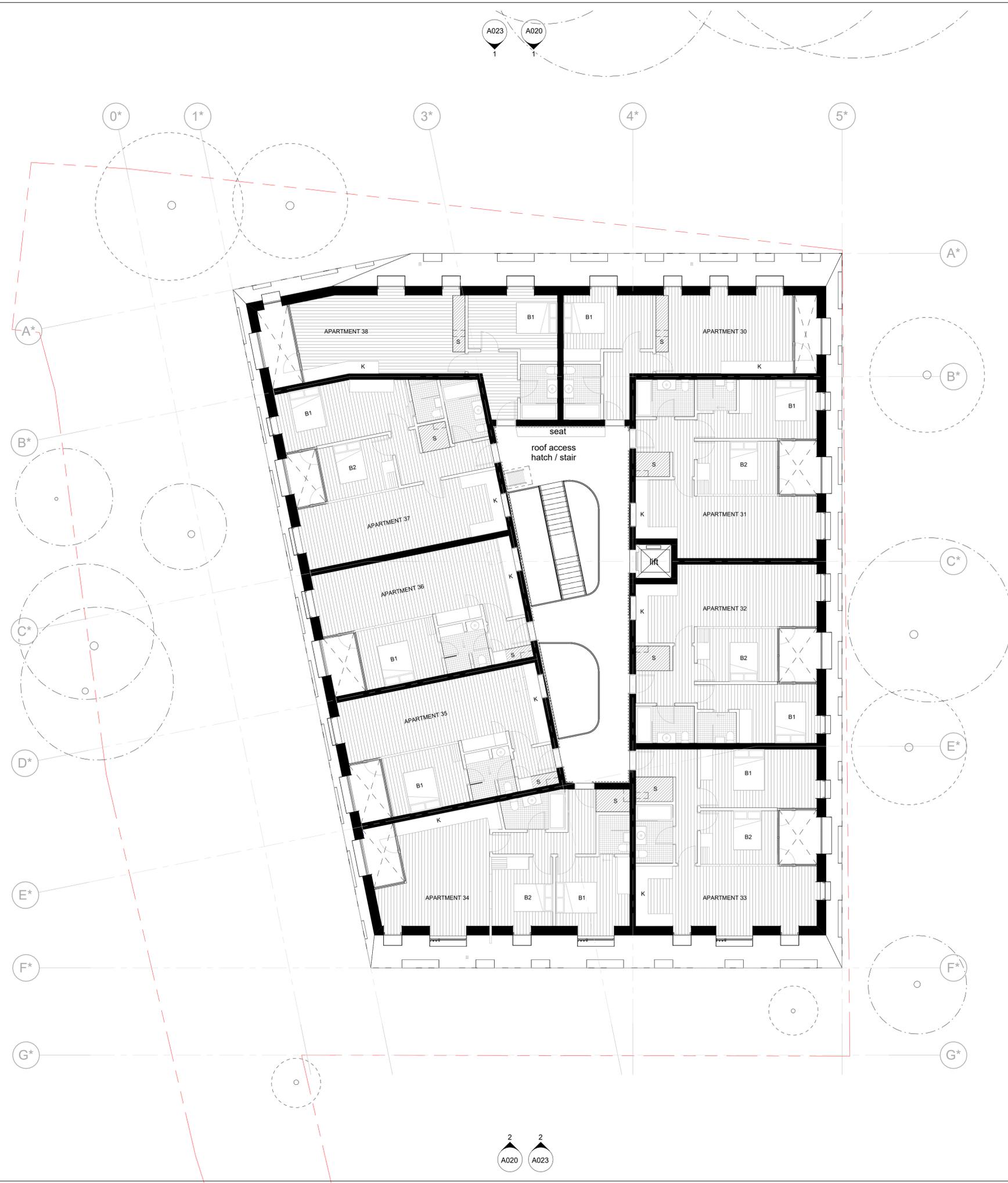
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contact: b-mcl@outlook.com +64 27 356 1245

KEYMER HOUSING

Client: Star Garages (Brighton) Ltd
Project Address:
60 Keymer Rd, Hassocks BN6 8AR, UK

Project No:	BMCL005
Scale at A1:	1:100
Drawing No:	Revision:



TECHNICAL HOUSING REQUIREMENTS

Nationally described standard 2015

ROOM	MIN WIDTH	MIN AREA
principal double Bed	2750 mm	11.5 m ²
other double Bed	2550 mm	NA
other single Bed	2150 mm	7.5 m ²
outdoor Space for 2p	1500mm	5.0 m ²
per additional occupants	NA	+1.0 m ²

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Rev | Purpose | Date

00	Planning Pre App	12.12.2023
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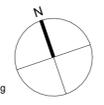
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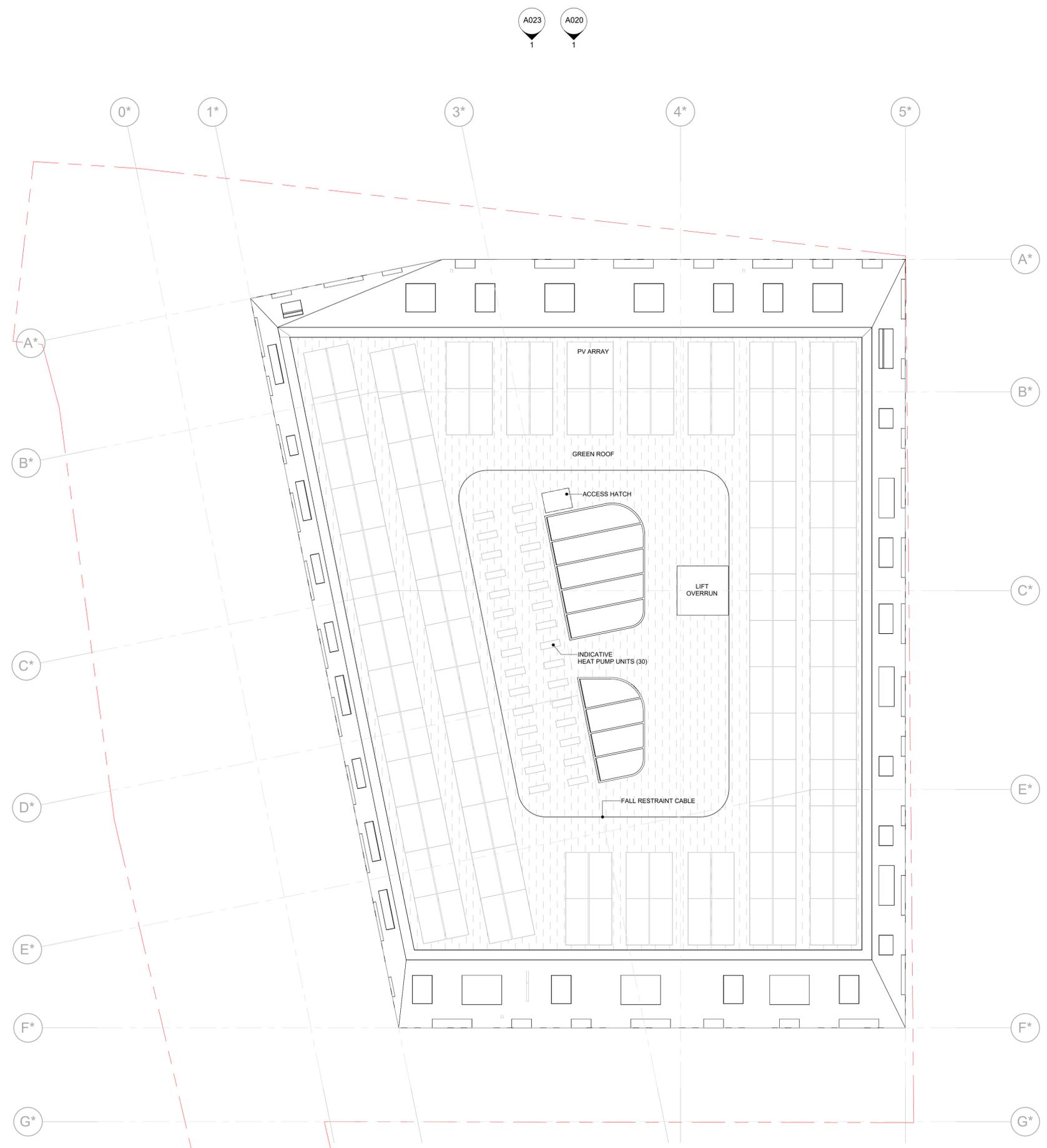
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Drawing No: Revision:



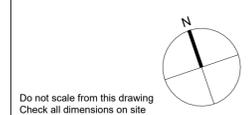


3 A020

A020 4
A023 4

A023 1
A020 1

A020 2
A023 2



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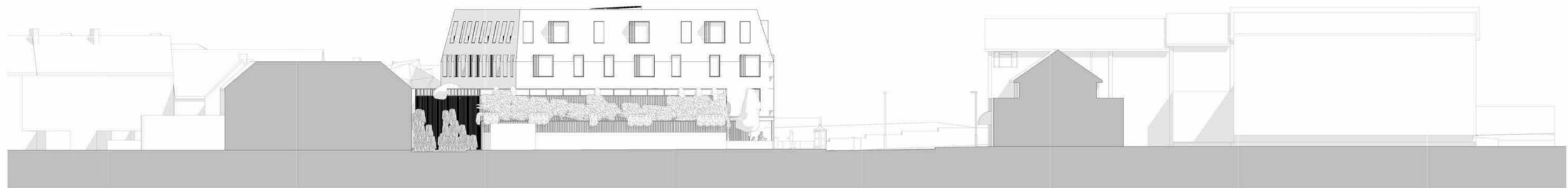
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Project No:	BMCL005
Scale at A1:	1:100
Drawing No:	Revision:

Roof Plan Level 04 **A014** **01**



1
A020 Elevation North - Keymer Road



2
A020 Elevation South

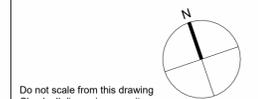
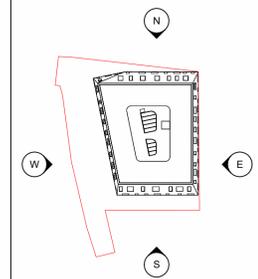


3
A020 Elevation East - Dale Ave



4
A020 Elevation West - John Saxby Place

Plan Key Scale 1:1000



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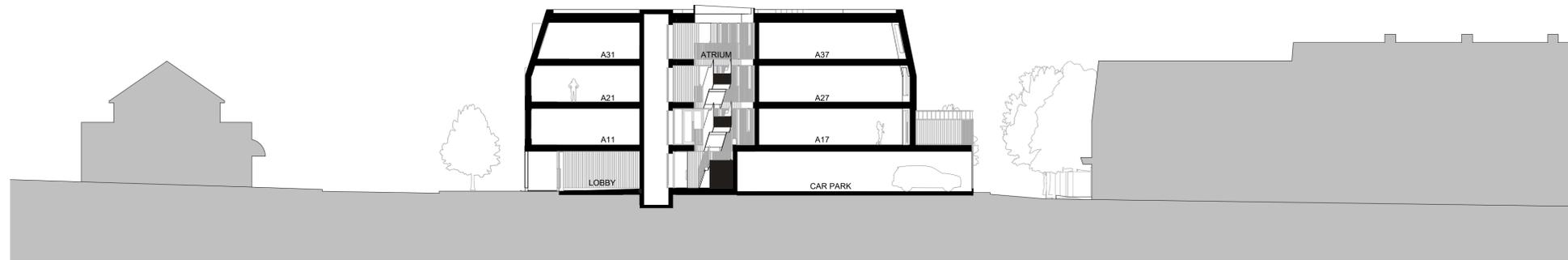
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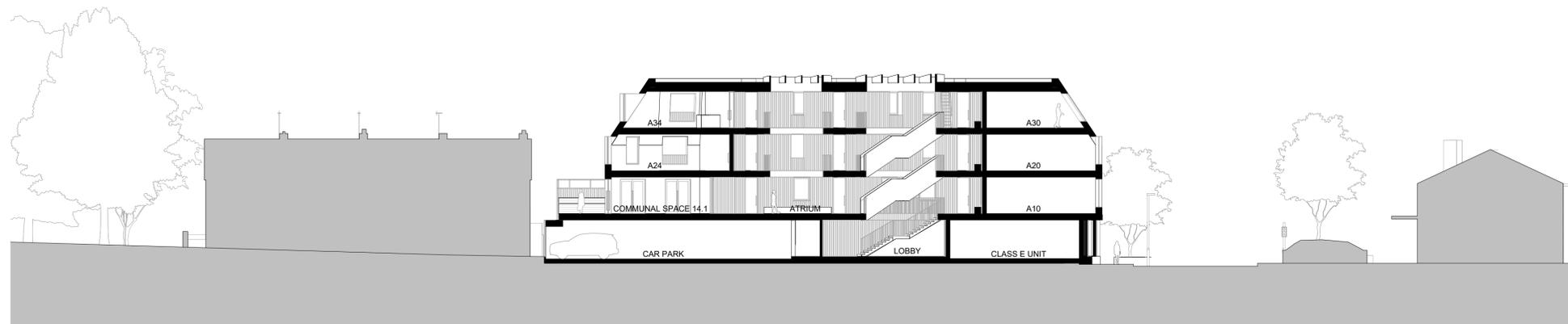
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Scale at A1:	1:200
Drawing No:	Revision:

Site Elevations

A020 01

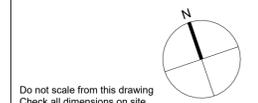
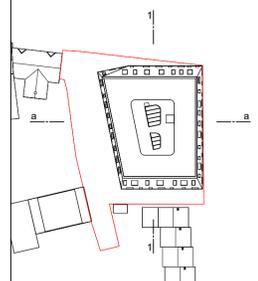


1
A021 Transverse Section a-a



2
A021 Longitudinal Section 1-1

Plan Key Scale 1:1000



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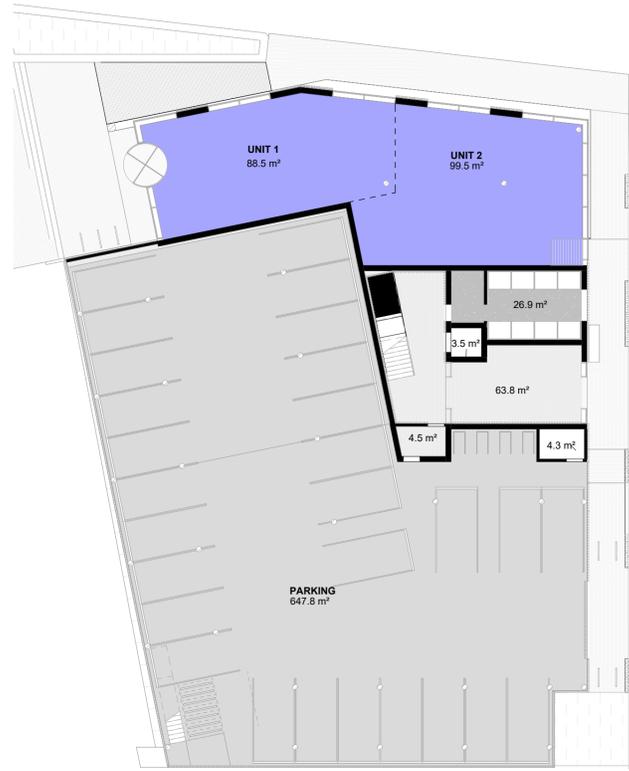
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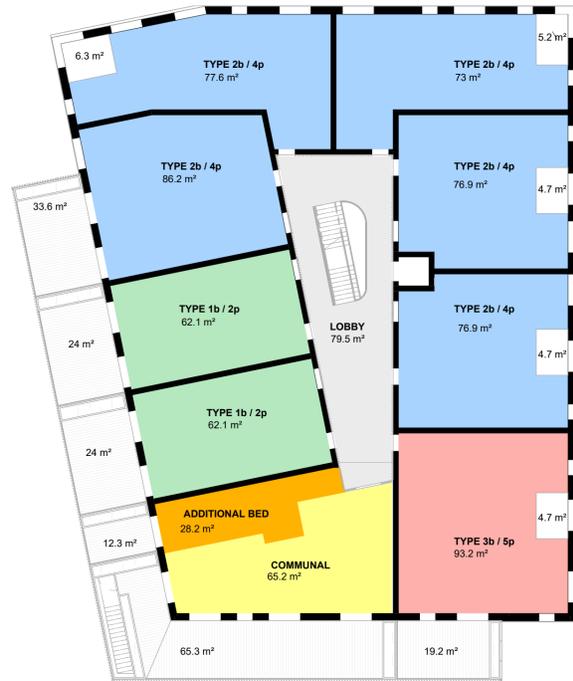
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Scale at A1:	1:200
Drawing No:	Revision:

Site Sections

A021 01



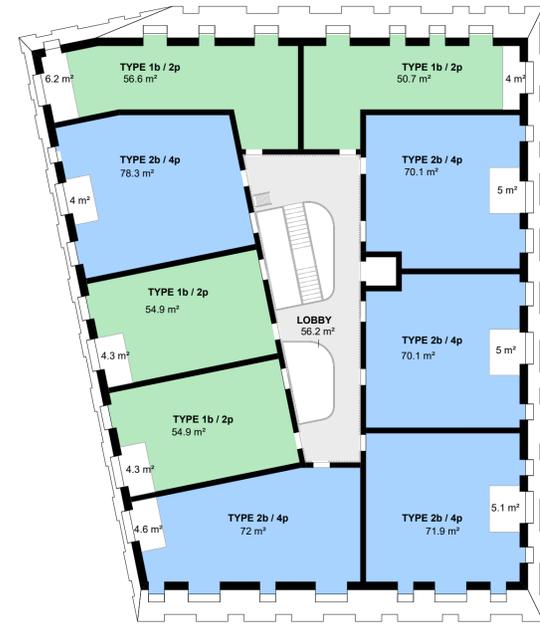
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A040 Level 0 NIA



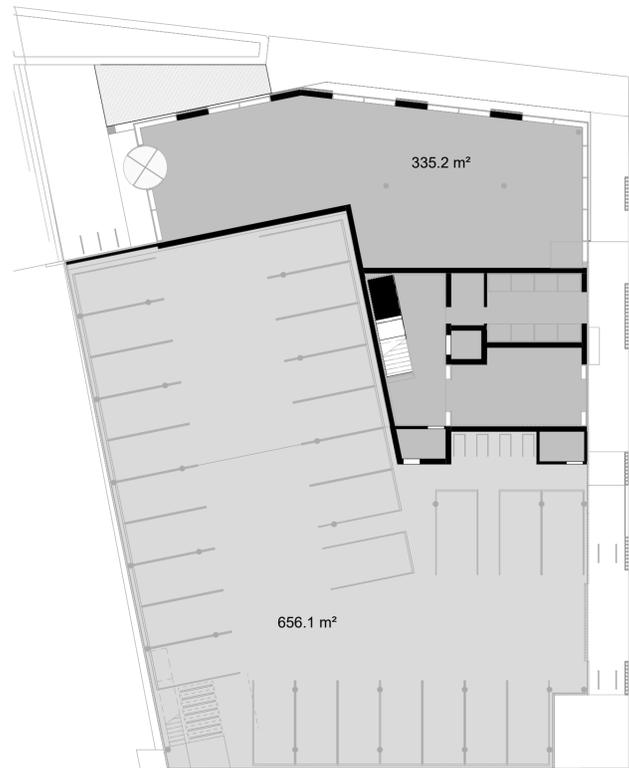
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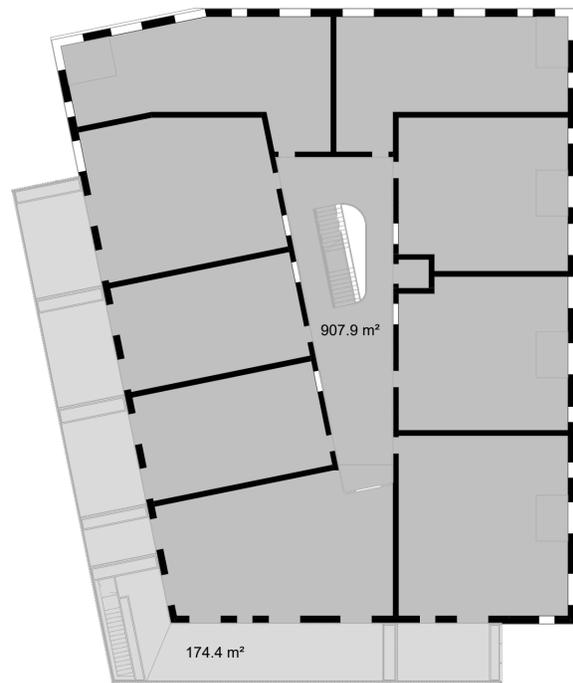
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A040 Level 2 NIA



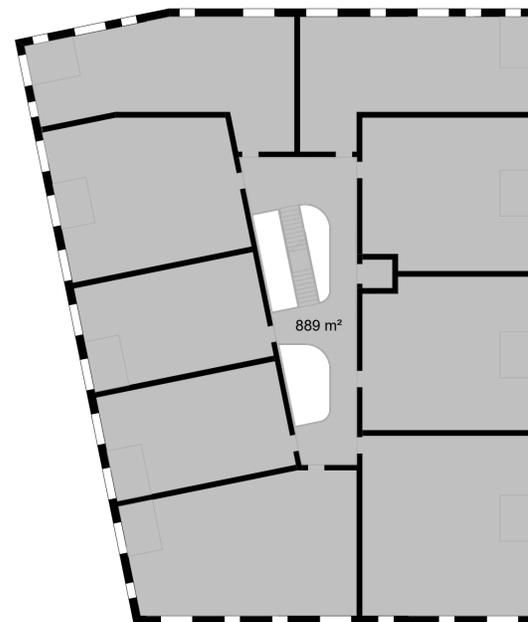
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A040 Level 3 NIA



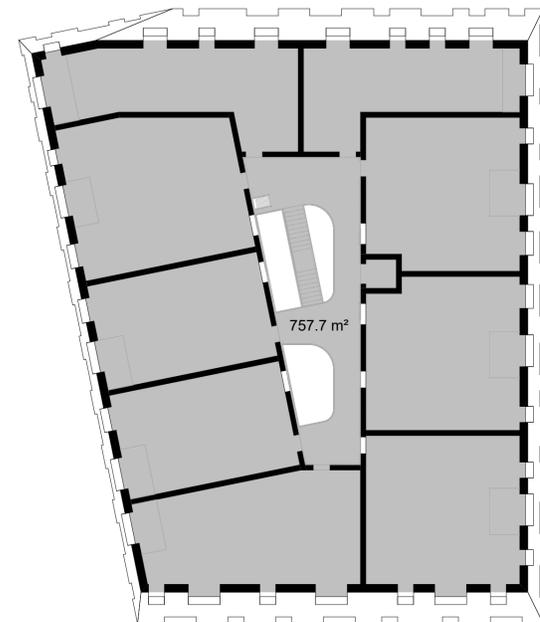
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A040 Level 0 GEA



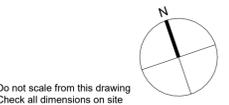
6
A040 Level 1 GEA



7
A040 Level 2 GEA



8
A040 Level 3 GEA



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APPENDIX D – Environment Agency Flood Data

Flood risk assessment data



Location of site: 60 Keymer Road, Hassocks, West Sussex, BN6
8AR Document created on: 27 June 2024
This information was previously known as a product 4.
Customer reference number: SSD365515

Map showing the location that flood risk assessment data has been requested for.



How to use this information

You can use this information as part of a flood risk assessment for a planning application. To do this, you should include it in the appendix of your flood risk assessment.

We recommend that you work with a flood risk consultant to get your flood risk assessment.

Included in this document

In this document you'll find:

- how to find information about surface water and other sources of flooding
- information on the models used
- definitions for the terminology used throughout
- flood map for planning (rivers and the sea)
- modelled data
- climate change modelled data
- information about strategic flood risk assessments
- information about this data
- information about flood risk activity permits
- help and advice

Information that's unavailable

This document **does not** contain:

- historic flooding
- flood defences and attributes

We do not have historic flooding data for this location.

Please note that:

- flooding may have occurred that we do not have records for
- flooding can come from a range of different sources
- we can only supply flood risk data relating to flooding from rivers or the sea

You can contact your Lead Local Flood Authority or Internal Drainage Board to see if they have other relevant local flood information. Please note that some areas do not have an Internal Drainage Board.

We aren't able to display flood defence locations and attributes as there are no formal flood defences in the area of interest.