

March 2025

Revision A

AN ARCHAEOLOGICAL DESK BASED ASSESSMENT FOR STAR
GARAGE, 60 KEYMER ROAD, HASSOCKS, WEST SUSSEX, BN6 8AR.

Archaeology Services Lewes

Project number: ASL 353-25



Star Garage fronting Keymer Road (image from Design and Access Statement by Bowen and McLachlan February 2025).

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SUMMARY

This Archaeological Desk-Based Assessment, has been prepared for proposed development at the former Star Garage, 60 Keymer Road, Hassocks, West Sussex, BN6 8AR. The Site is currently empty and un-used and the proposed works would involve the demolition of the building to provide 26 new residential units on the upper floors with associated car parking and bike storage spaces on the ground floor.

This assessment has concluded that the Site is considered to lie within an area of moderate archaeological potential for the Romano-British and post-medieval periods.

Foundation details are not yet finalized so we can only comment in general on the proposed impact to any potential below ground archaeology. It has been noted that it is unlikely that in-situ archaeology will be encountered as the Site has been in use for a variety of functions over the past 200 years or more. This includes a large residential house and associated gardens with landscape features such as ponds evident since at least the early part of the 19th century.

The construction of the garage in the mid-20th century included the excavation of large fuel tanks in the north part of the Site, as well as foundations for the garage and its southern extension at a later date. The only area not impacted by this 20th century development lies on the eastern fringes, although this area will already have been impacted by the foundations of the earlier building.

Therefore, given that the majority of the Site has been previously impacted it is unlikely that further development will impact substantial archaeological features and any features found in-situ would be of low to negligible heritage significance.

However, given the close proximity of the Site to a Roman road, the development may uncover important artefacts linked to any roadside settlement or mortuary activity as is the norm although these are unlikely to be in-situ and will be stray, residual finds. Therefore it is recommended that if development is approved, then some form of archaeological investigation is carried out on any below ground interventions, in particular the reduction of any ground levels for the footings required for the new building. It may be that this could be targeted within the eastern area only, where there is a higher chance of encountering consolidated ground.

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1.0 INTRODUCTION

- 1.1 Archaeology Services Lewes (ASL) has been commissioned by David Saxby from Star Garages (Brighton) Ltd (the Client), to prepare an Archaeological Desk-Based Assessment (DBA), for the former Star Garage, 60 Keymer Road, Hassocks, West Sussex, BN6 8AR (Figs 1-3; herein referred to as the Site). The Site is currently a disused brown field site, formerly a car service/petrol station. It should be noted that this report forms the basis of an impartial analysis of significance and the contribution of setting. The level of impact to any below ground archaeological features is considered to be low-moderate although the potential for such features to be encountered during ground works is considered to be low.

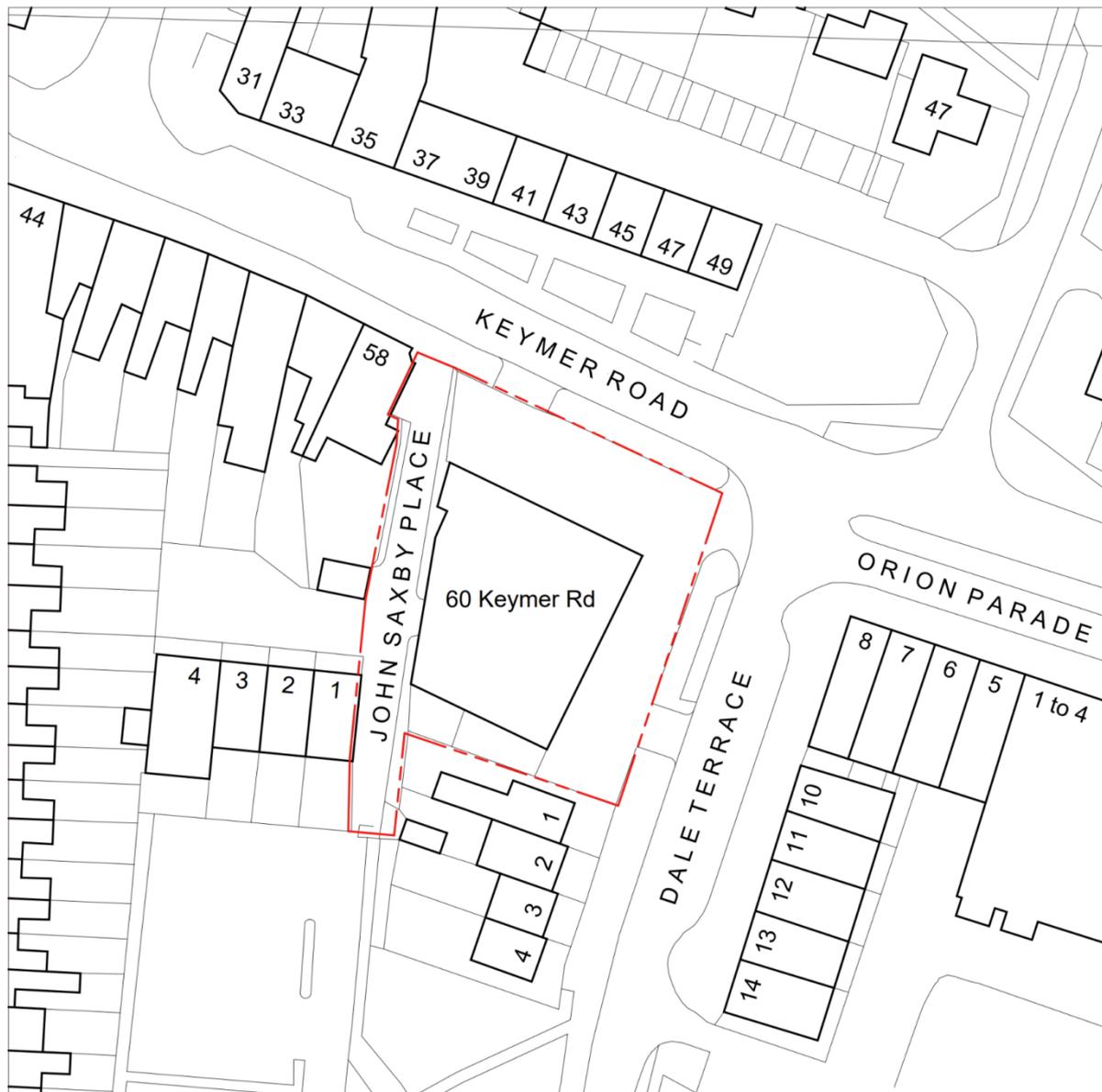


Fig. 1. Site location (Reproduction in whole or in part is prohibited without the prior permission of the Ordnance Survey ©Crown copyright and database rights 2020). OS licence No.: 100055392.

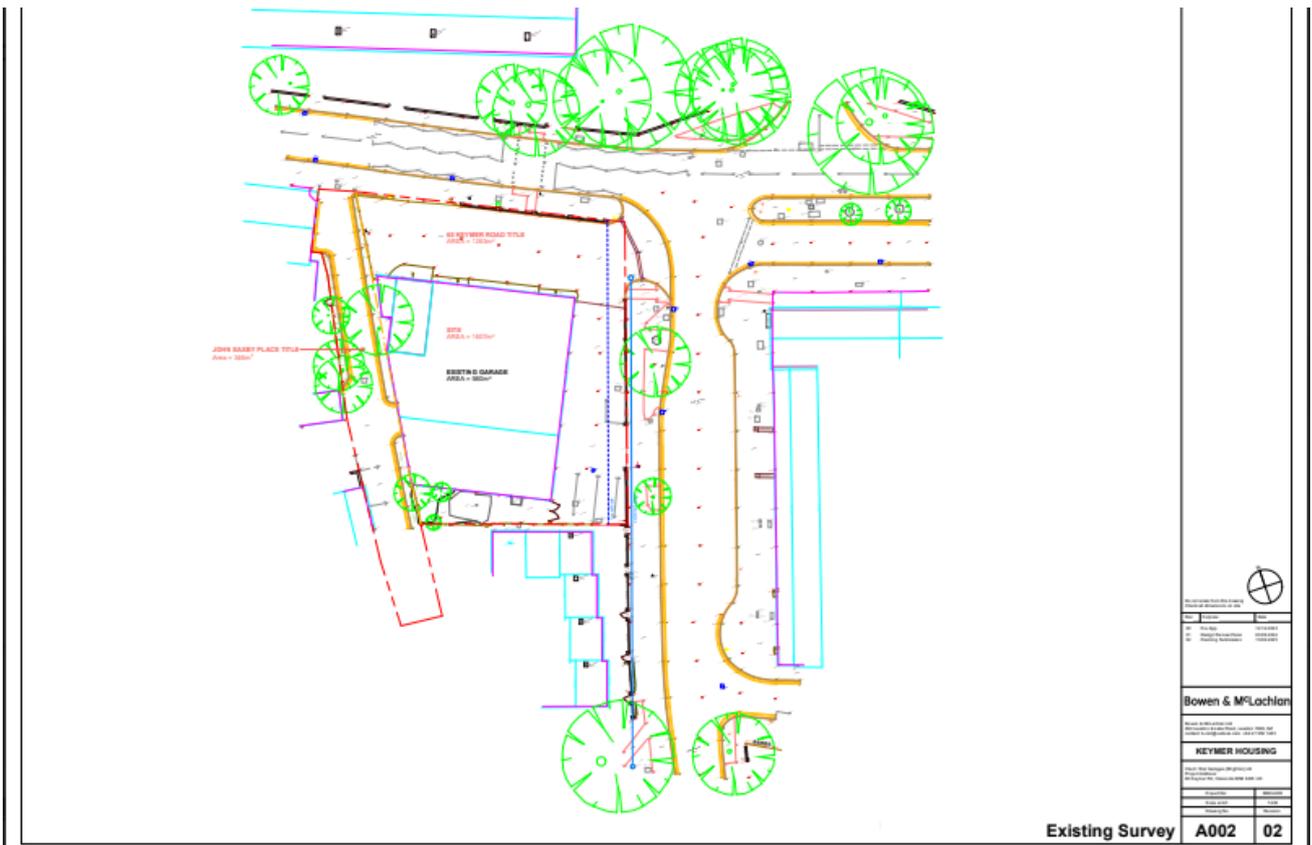


Fig. 2. Existing Site plan © Bowen and Mc.Lachlan Ltd drawing number A002 revision 02.

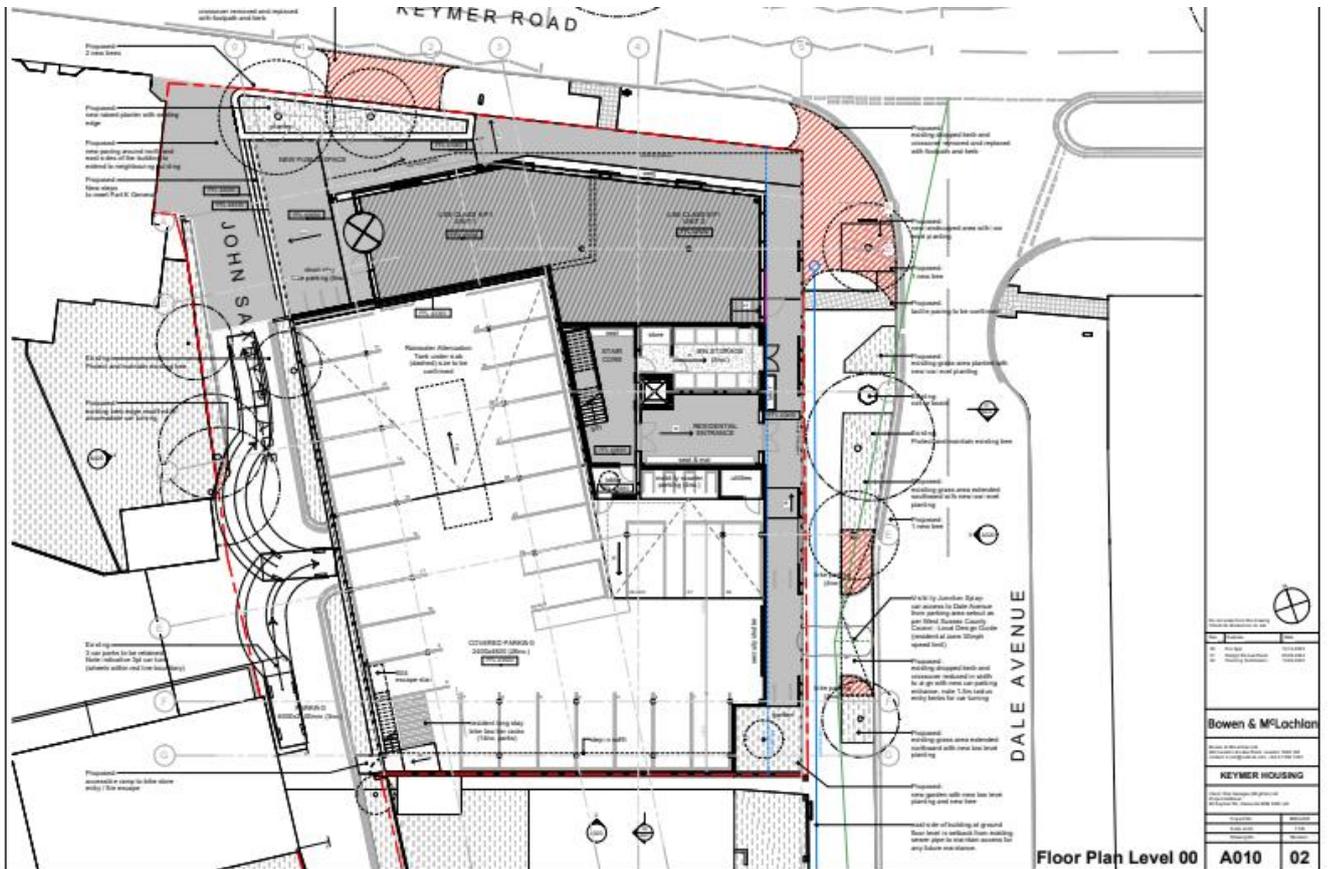


Fig. 3. Proposed Site plan © Bowen and Mc.Lachlan Ltd drawing number A010 revision 02.

- 1.2 This report has been prepared to support a planning application for the proposed demolition of the redundant buildings and construction of new mixed-use building over ground floor with three upper floors. This is proposed to contain 26 new units on the upper floors with associated car parking and bike storage spaces at ground floor level. It is our understanding that the proposed building will be divided into two parts: a four-story building that occupies 49% of the site, and a single-story garage and terrace that cover 12% of the site. The remaining area (38%) is designated for public access.
- 1.3 This report follows the Chartered Institute for Archaeologists *Standards and Guidance for Archaeological Desk- Based Assessments* (CIfA 2014; updated 2017) as well as the 'Sussex Archaeological Standards 2019'.
- 1.4 The Site is situated at TQ 30796 15450 in the parish of Hassocks, in the Mid-Sussex District of West Sussex. A wider Study Area of 250m radius has been considered to place the Site in context
- 1.5 The objective of this report is to provide an overview of the topography of the Site and to assess the potential impact on any surviving archaeological features, if present, by the proposals if permission is granted. In noting this, the significance of any potential features, both individually and as a group, can be assessed. Additionally, mitigation and recommendations are given.
- 1.6 It should be noted that this survey is non-intrusive and that the report is an appraisal, rather than a definitive statement. Therefore, any discussions on the presence or absence of below-ground archaeological remains should be regarded as *an indicator of potential*. The only way to produce a definitive statement would be for a geophysical survey or trial trenching to define the presence/absence of any archaeological remains within the Site.

2.0 SITE TOPOGRAPHY AND GEOLOGY

- 2.1 The Site is situated on a slight east-west ridge at a height of 41.8m aOD (above Ordnance Datum) although the Site itself is located on a level plot of land flanking the road.
- 2.2 The Site is located within the heart of the village of Hassocks, in the Low Weald of West Sussex beneath the South Downs and adjacent to Herring Stream. The Design and Access Statement prepared for Bowen and Mc.Lachlan Architects states¹:

"The site lies to the eastern end of the village centre, which was largely developed in the second half of the twentieth century, on the prominent corner of Keymer Rd and Dale Avenue. It is bounded by a variety of building types and scales, generally of more contemporary design albeit in a palette of generally traditional materials e.g. brick, tile and weather boarding. The site was developed as a garage, serving petrol, and undertaking mechanical work, prior to it more recently being used as tyre service centre. It has four existing vehicular access points, one of Keymer Rd, one off the corner off

¹ Bowen and Mc.Lachlan, February 2025. 60 Keymer Road, Hassocks. Design and Access Statement for Star Garages (Brighton) Ltd.

Keymer Rd and Dale Avenue, one off Dale Avenue, and one off John Saxby Place. All cross the foot way".

- 2.3 The underlying geology of the Site is Folkestone Sandstone; part of the Lower Greensand group².
- 2.4 Borehole data is limited, with no boreholes present within 250m radius. The nearest borehole lies c.550m south-west of the Site and does not give a particularly useful description, being a borehole sunk by the Gas board in 1942 (Fig. 3), missing out topsoil depths and only recording solid geology and the depth of the water table at 100 feet (<https://api.bgs.ac.uk/sobi-scans/v1/borehole/scans/items/594473>).



British
Geological
Survey

BGS ID: 594473 : BGS Reference: TQ31NW4
British National Grid (27700) : 530260, 115410

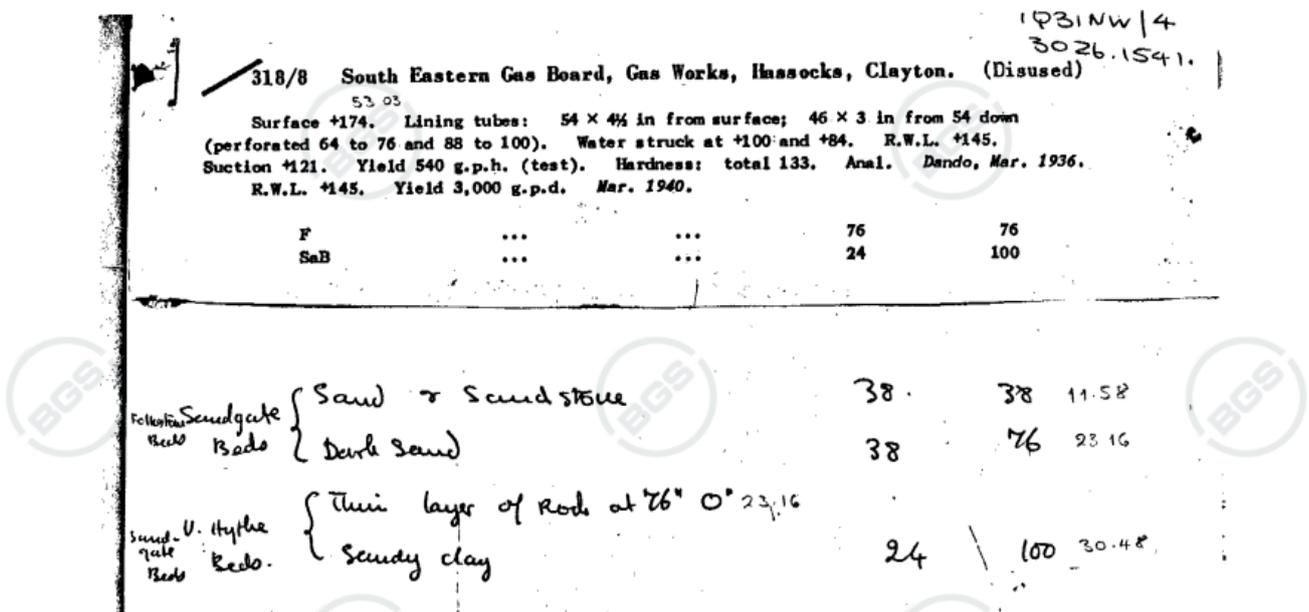


Fig. 3. British Geological Society borehole record BGS ID: 594474 reference: TQ31NW4.

3.0 PLANNING BACKGROUND

- 3.1 Previous planning applications or development work are limited to the following:

Planning reference: KY/039/91 - Permission was granted in April 1992 for the provision of a Petrol Pump and canopy on the front forecourt and underground petrol tank alongside MOT facilities

Planning reference: DM/23/0905 – Prior approval granted for demolition of existing building.

² (<http://mapapps.bgs.ac.uk/geologyofbritain/home.html>)

Planning reference: 00/01153/ADV, Fri 26 May 2000 . Retrospective application for externally illuminated fascia signs and internally illuminated 3.90 metre gantry sign

Planning reference: KY/041/91, Mon 16 Dec 1991. 1 NO. FREESTANDING INTERNALLY ILLUMINATED GANTRY SIGN.

Planning reference: KY/039/91, Thu 12 Dec 1991. THE PROVISION OF NEW PETROL PUMP EQUIPMENT AND NEW CANOPY TO THE FRONT FORECOURT, PLUS THE PROVISION OF MOT FACILITIES, IMPROVED OFFICE/RECEPTION ACCOMMODATION TO THE SIDE ELEVATION AND UNDERGROUND PETROL TANK.

4.0 ARCHAEOLOGICAL AND HISTORICAL BACKGROUND

- 4.1 A householder search of the Historic Environment Record (HER), stored at the West Sussex Records Office (WSRO) was obtained (reference number 202425-108) which is summarised below. Listed Building data was acquired from Historic England. Details were taken of all archaeological sites and Listed Buildings within 250m radius.
- 4.2 There are no Conservation Areas within 250m of the Site and there are no Conservation Areas within 250m of it.
- 4.3 There are no Scheduled Monuments within 250m of the Site.
- 4.4 There are no Listed Buildings within 250m of the Site and it appears that the Site is located c.500m west of an area of historic interest which has six Listed Buildings within its core.
- 4.5 There are no Registered Parks or Gardens within 250m of the Site.
- 4.6 West Sussex County Council, which advises the local planning authorities on archaeological matters, has identified various Archaeological Notification Areas (ANAs) throughout the county which are plotted onto a map (Fig. 4). These ANA maps are to be considered during the process of planning applications, in association with the Archaeological advisors acting as consultant, but the areas have no statutory status or protection. The development is situated within an ANA defined due to the route of the Hardham to Barcombe Mills Roman Road through Horsham and Mid Sussex as evidenced by excavations along sections. This therefore raises the potential for below ground archaeological remains to exist within the development area.

4.9 Prehistoric period

There are no known artefact finds or monuments from this period within the Study Area.

4.10 Romano British period

Approximately 70m north of the Site lies the probable route of the Roman road (RR140) from Barcombe Mills to Hardham is described in detail by Margary. He showed that it extended nearly 40 kilometres east and west and called it the Greensand Way. Margary's work on the Roman Roads of Britain (1955, republished in 1973⁴) identifies this stretch of Roman Road running east-west along an outcrop of Lower Greensand, approximately a mile to the north of the escarpment of the Sussex Downs. During the Roman period, extensive corn growing on the South Downs required ease of transportation from areas of production to markets; the Roman Greensand Way was part of that communication network⁵.

4.11 Anglo-Saxon period

There are no known artefact finds or monuments from this period within the Study Area.

4.12 Medieval period

There are no known artefact finds or monuments from this period within the Study Area.

4.13 Post medieval period

Historic mapping for the site records a building along the northern boundary of the Site, on a different footprint than the current garage at 60 Keymer Road. The building, with a circular driveway, is recorded from the mid-19th century through until the early/mid-20th century. By the later 19th century Bonchurch Road has been created and development on the eastern side. By the early 20th century the road has been renamed 'Parklands Road' and development is depicted on the western side. Whilst this building is not currently recorded on the Historic Environment Record, above and below ground remains of this buildings may be considered to be a non-designated heritage asset.

The site of an outfarm (approximately 110m south of 60 Keymer Road), has been identified as a Historic Outfarm through the 'Historic Farmsteads and Landscape Character in West Sussex' Project which identified farmsteads/outfarms shown on the Ordnance Survey 2nd Edition 25" mapping of c.1895. This Outfarm was a 19th century double sided loose courtyard outfarm or field barn. It was in an isolated location but

⁴ Margary, I (1955) Roman Roads of Britain

⁵ Historic England (2017) Addition to the Schedule of Monuments – Section of Roman Road north of Rock

the outfarm has been totally demolished/lost. It is possibly associated with a large house and glass houses on the South side⁶.

- 4.14 Approximately 120m north-west of the site an evaluation was undertaken at 38 Keymer Road, Hassocks. Three trial trenches and two geoarchaeological test pits were excavated and no archaeological features or artefacts were observed in the evaluation trenching. The Geoarchaeological Test Pits concluded that the archaeological potential of the site should be considered as moderate to low⁷.

5.0 CARTOGRAPHIC EVIDENCE

- 5.1 The 1789 map (Fig. 5) shows no buildings present within the Site boundary and Hassocks does not yet exist as a village.



Fig.5. Early Ordnance Survey surveyors draft map of Ditchling 1789 (OSD 93-1).

- 5.2 The map drawn just 6 years later (Fig. 6) shows no changes to the Site boundary and still no development of the village.

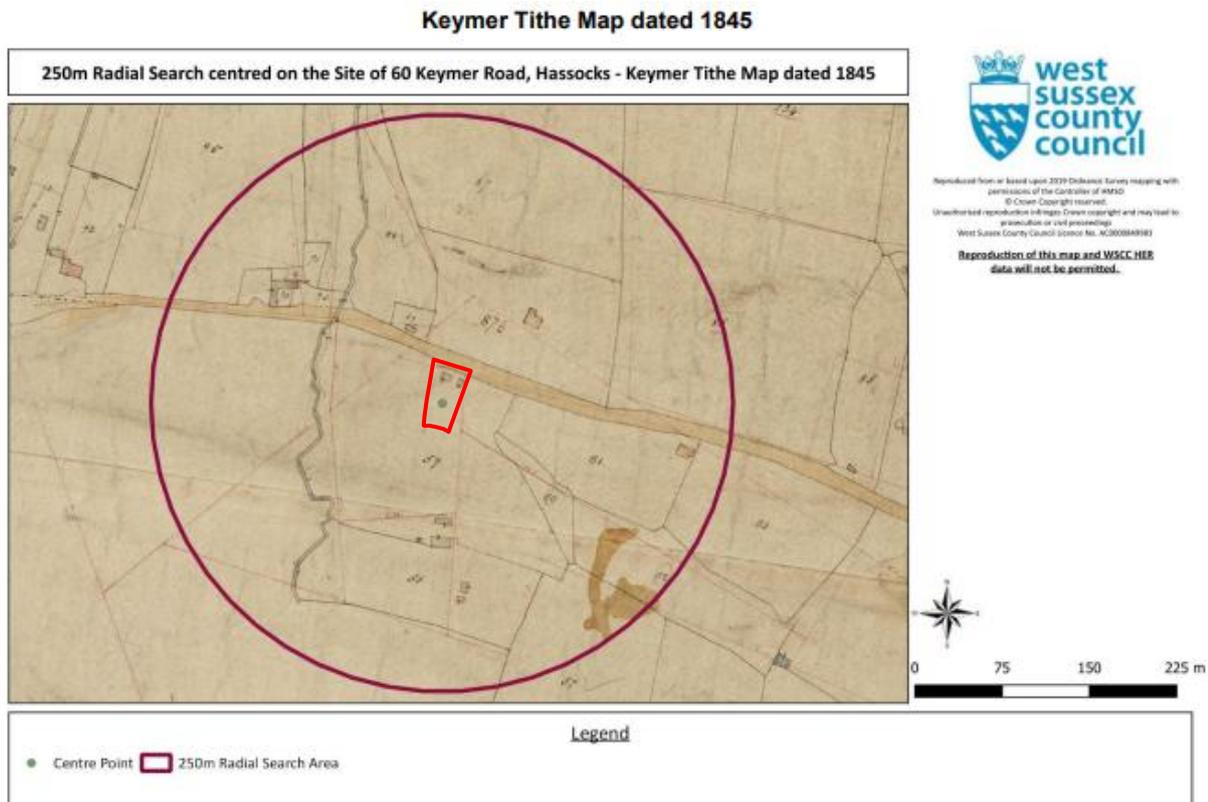


⁶ West Sussex Historic Environment Record database

⁷ Worral, S. (2004) 38 Keymer Road, Hassocks: Evaluation ASE Project No. 1984.

Fig.6. Yeakell and Gardner map of 1795.

- 5.3 The Tithe map for Keymer, drawn in 1845 (Fig. 7), shows two small buildings north of the Site flanking Keymer Road. It is not clear what these are but given they are in an isolated position north of what has been identified as an outfarm it is likely they are agricultural buildings of some description.

**Fig.7. Keymer Tithe Map of 1845.**

- 5.4 The First Edition Ordnance Survey (OS) map of 1873-74 (Fig. 8; published 1879) shows a large building within the Site boundary along with what appears to be large, landscaped grounds to three sides. Hassocks is now referenced with development of the village clearly beginning to grow. What appears to be a new tributary of the existing stream now cuts diagonally across the Site itself which heads south-east within an area called Parklands.



Fig. 8. Ordnance Survey map of 1873-74 published (Reproduction in whole or in part is prohibited without the prior permission of the Ordnance Survey ©Crown copyright and database rights 2025).

- 5.5 The Second Edition OS map of 1896 (Fig. 9; published 1897) shows the Site with further landscaping including large ponds, a tuning circle and pathways. The new stream has now been cut off from the stream further west of the Site and a new ribbon development of terraced housing occupies an area to the west of the Site along Bonchurch Road (later re-named Parklands Road) which flanks the west side of the newly built John Saxby Close on a north-south alignment.

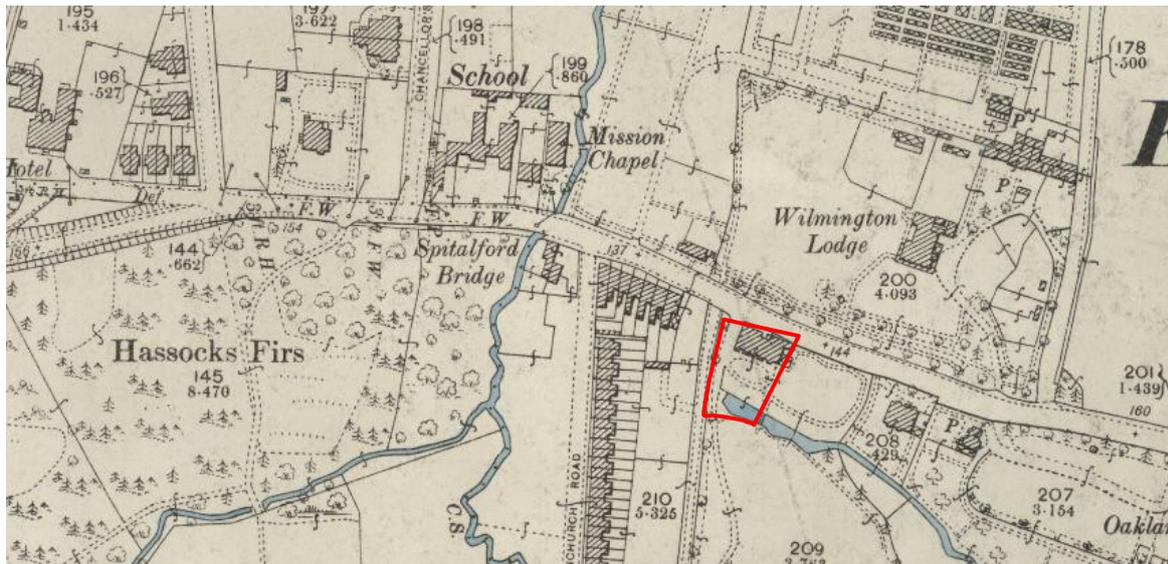


Fig. 9. Ordnance Survey map of 1886, published 1897 (Reproduction in whole or in part is prohibited without the prior permission of the Ordnance Survey ©Crown copyright and database rights 2025).

- 5.6 The OS map of 1909 (Fig. 10; published 1910) shows the Site in more detail, with a larger, irregular shaped detached building to the east side with a glasshouse in between.

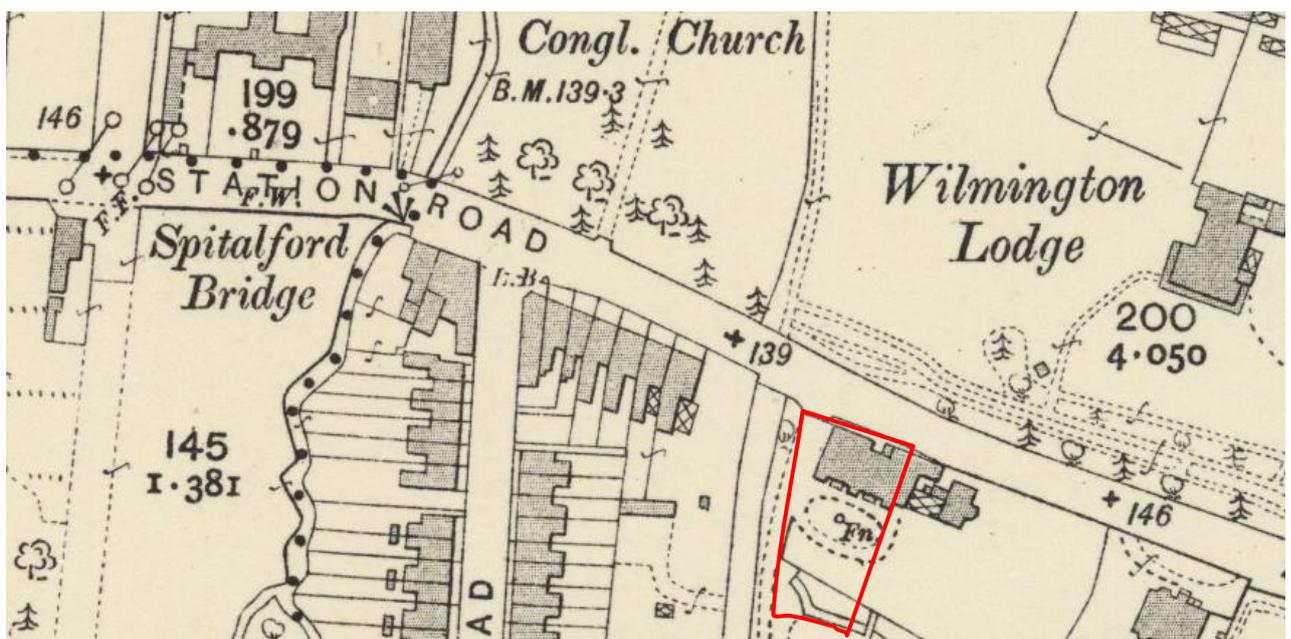


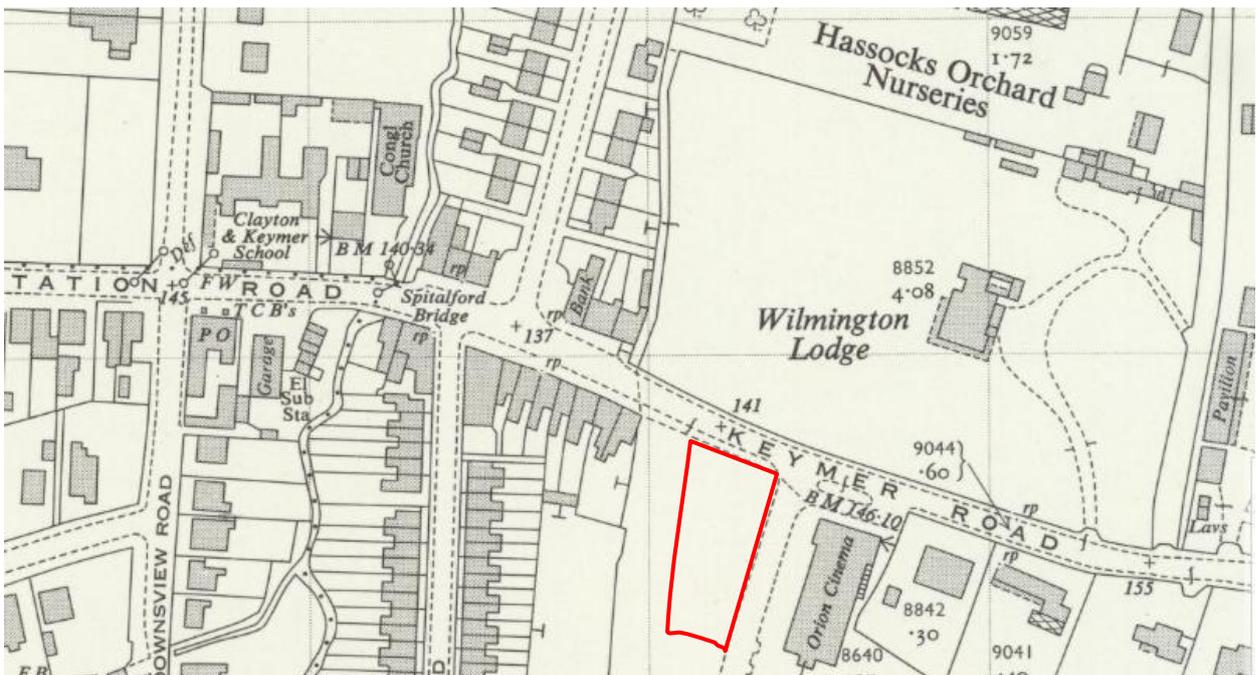
Fig. 10. The Ordnance Survey map of 1909, published 1910 (Reproduction in whole or in part is prohibited without the prior permission of the Ordnance Survey ©Crown copyright and database rights 2025).

5.7 The OS map of 1937-38 (Fig. 11; published 1946) shows no real changes to the Site.



Fig. 11. The OS map of 1937-38 (published 1946) (Reproduction in whole or in part is prohibited without the prior permission of the Ordnance Survey ©Crown copyright and database rights 2025).

5.8 The OS map of 1954 (Fig. 12; published 1955) shows the Site as a completely empty plot, which is now sub-divided and the Orion Cinema newly built within the eastern part. A new route between the two plots appears to be under construction and which now forms Dale Avenue.



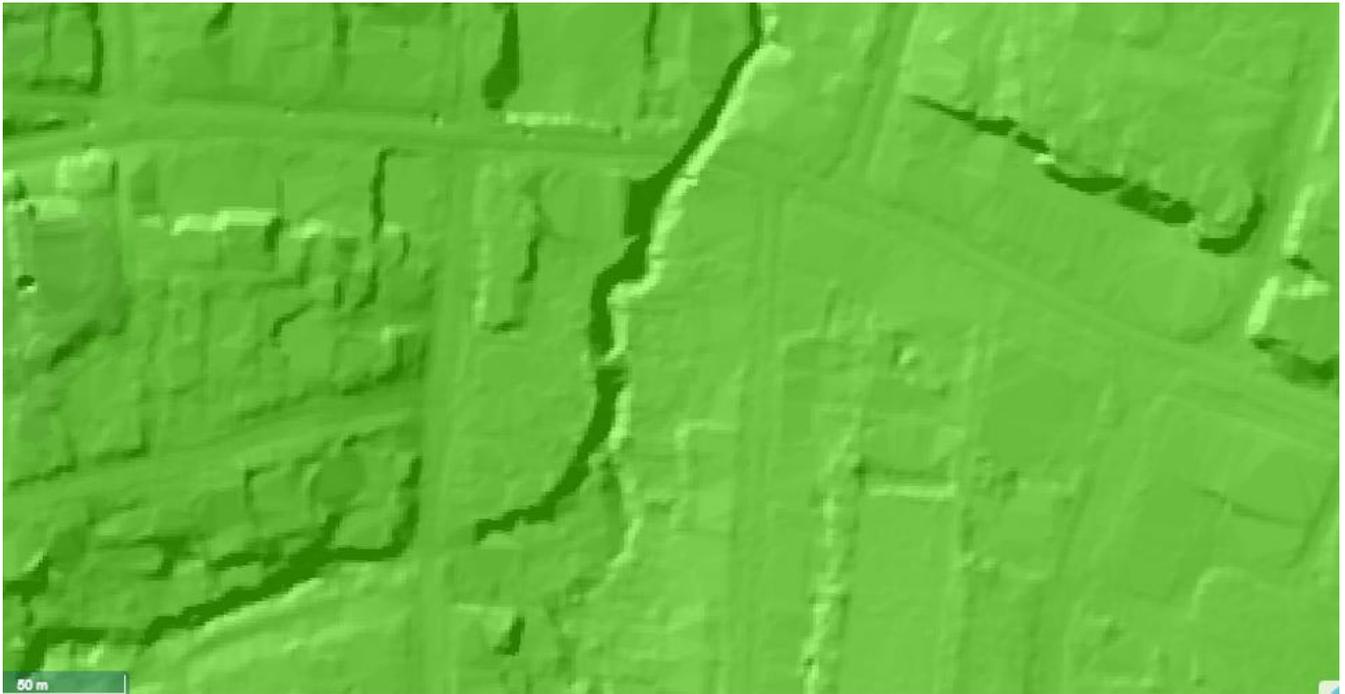


Fig. 15. Site shown through Lidar imaging; Contains public sector information licensed under the Open Government Licence v3.0.<https://enfarchsoc.org/opendata/>.

6.0 DESKTOP SURVEY OF THE EXISTING SITE

- 6.1 A walkover survey of the Site was not undertaken by the author but Google Street view was used as an external tool to identify the building for descriptive purposes only.
- 6.2 There are no indications that the plot contains any elements of the older, historic structures which once stood within the Site boundary and appear to have been completely demolished in the early 20th century. The garage is built from modern engineered bricks laid in Stretcher Bond with some large glazed panels present as well as a metal shutter entrance on the eastern side.
- 6.3 The building is flat roofed over the east-west building at the front (north) side of the plot and at one point in time, was a petrol service station as well as a tyre shop. There were large fuel tanks present below ground at one point in time, although it is not clear how big these are or how deep they extended below ground level and we are told they have subsequently been removed and in-filled. However, we have been advised by the client that although they don't have the exact details of how the tanks were arranged, they are believed to have been situated within the northern forecourt on Keymer Road and would typically be c.3-3.5m deep.
- 6.4 The Site is situated between John Saxby Close on the western side and Dale Avenue forming the eastern boundary where there is an open forecourt for vehicular parking between the pavement and the building within the Site which is laid with concrete on this side.

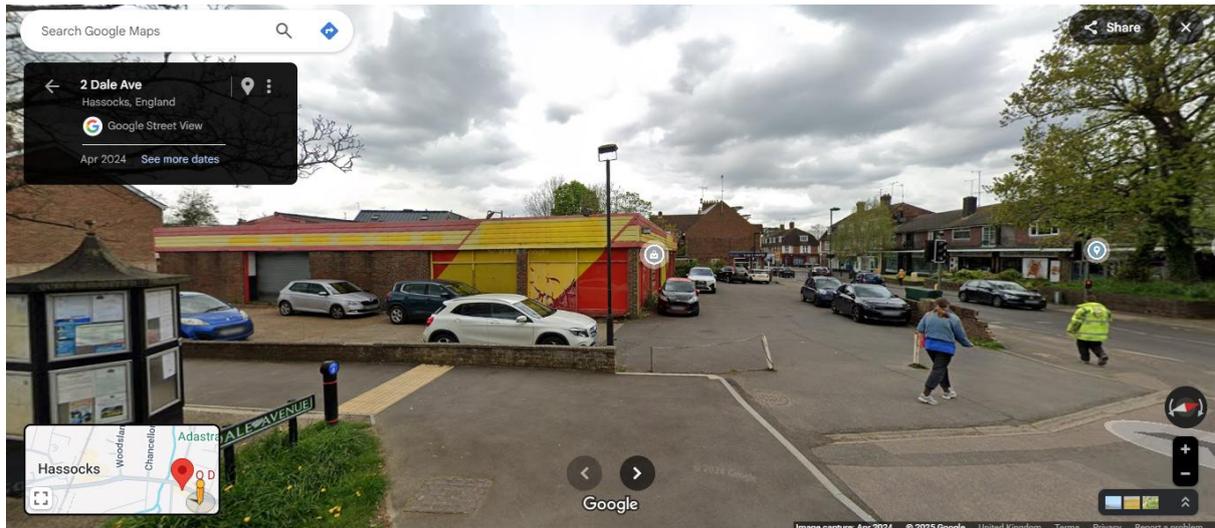


Plate 1. The northern forecourt, looking west from the corner of Dale Avenue: map data ©2025 Google.

- 6.5 To the north side is an open forecourt (Plate 1) with parking for several vehicles with Keymer Road (B2116) immediately north of the forecourt on this side (Plate 2) which is covered with asphalt.



Plate 2. Keymer Road immediately north of the forecourt: map data ©2025 Google.

- 6.6 The building abuts the eastern boundary of John Saxby Place (Plate 3) where a low, close boarded fence marks the western edge of the Site.



Plate 3. The western side of the building flanking John Saxby Close, looking south-east: map data ©2025 Google.

- 6.7 The southern boundary of the Site extends to the side of a house on Dale Avenue where another low, close boarded fence defines the boundary here (Plate 4). There is no forecourt on this side but there is a narrow open area c.1m wide which runs the length of the rear of the building which is overgrown with low shrubs and weeds (Plate 5). The roof of the southern extension can be seen in Plate 4 which has a very shallow pitched roof which can be seen in the eastern elevation.



Shallow pitched roof

Plate 4. The eastern side of the Site with the fence defining the southern boundary; map data ©2025 Google.

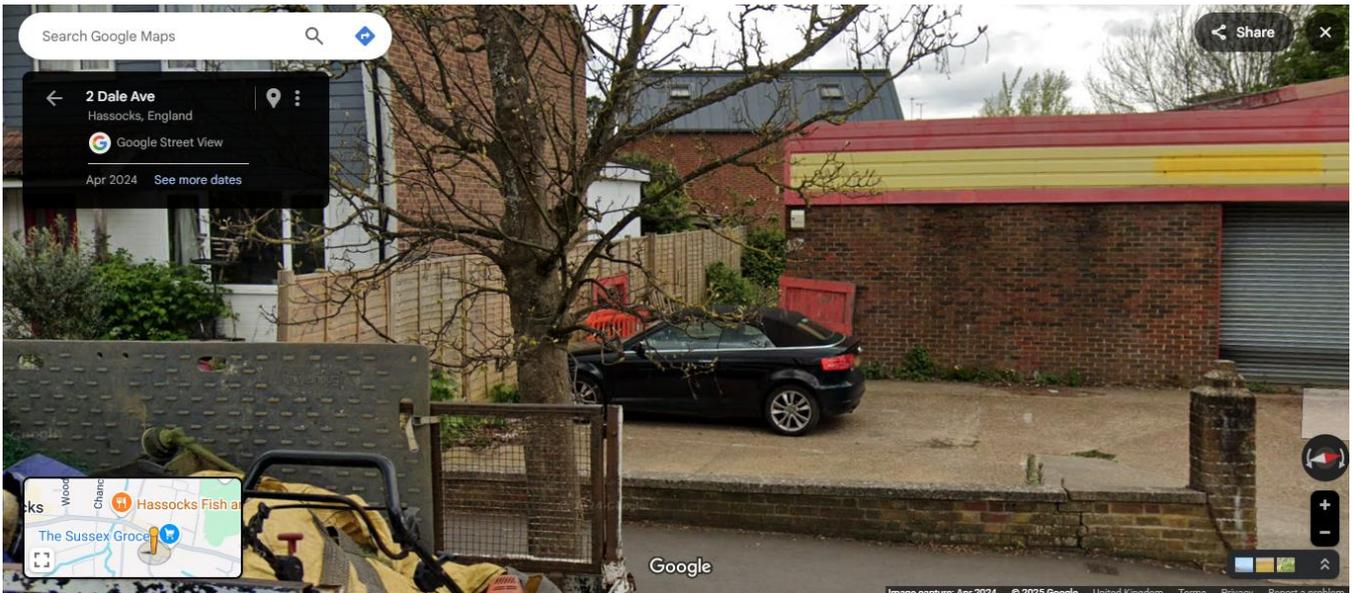


Plate 5. Shrubs and weeds growing in the narrow strip of land to the south: map data ©2025 Google.

- 6.8 A photograph of the garage taken during the mid-20th century (Plate 6) shows the forecourt petrol pumps in position on the north side of the building, thus providing proof that the fuel tanks are aligned on this side of the building. It does not appear that the southern extension has been added at this point as the roof appears entirely flat.



Plate 6. Photograph of the garage in the mid-20th century taken by Malcolm Grace and kindly provided by the Client.

7.0 ASSESSMENT OF ARCHAEOLOGICAL POTENTIAL

7.1 A review of the features and buildings recorded and detailed earlier indicates that the Site has low-moderate archaeological potential.

7.2 Prehistoric period

The Study Area has produced no evidence for prehistoric occupation.

The potential of the Site for this period is Low.

7.3 Romano-British period

The Study Area has produced evidence for Romano-British activity in the form of a road which lies c.70m to the north of the Site.

The potential of the Site for this period is moderate.

7.4 Anglo-Saxon period

The Study Area has produced no clear evidence for Anglo-Saxon occupation.

The potential of the Site for this period is Low.

7.5 Medieval period

The Study Area has produced no evidence for medieval occupation.

The potential of the Site for this period is low.

7.6 Post-medieval period

The post-medieval history of the Site suggests that further evidence is likely to survive as buried archaeological deposits although later foundations will have significantly impacted any in-situ foundations.

The potential of the Site for this period is moderate.

7.7 Summary of potential

This DBA only considers the *potential* of the Site in principle. Often the conclusions, if considered to prove that the potential for archaeology is high, can only be tested by fieldwork in order to confirm whether remains are actually present. It must be stressed that remains of a type for which there is no prior evidence may be encountered during invasive ground works during development.

This potential for the discovery of hitherto unknown archaeology has been supported by a review of the known archaeological sites near to the Site. Therefore the potential

for new sites/findspots being located within the proposed development area is summarised as follows:

Prehistoric – Low
Romano-British - Moderate
Anglo-Saxon - Low
Medieval - Low
Post-medieval – Moderate

To conclude, the Site is considered to lie within an area of moderate archaeological potential for the Romano-British and post-medieval periods.

8.0 EXISTING IMPACTS ON ARCHAEOLOGICAL POTENTIAL

- 8.1 The Site has been in use for a variety of functions over the past 200 years or more, with a large residential house and associated gardens with landscape features such as ponds evident since at least the early part of the 19th century.
- 8.2 The construction of the garage in the mid-20th century included the excavation of large fuel tanks in the north part of the Site, as well as foundations for the garage and its southern extension at a later date. The only area not impacted by this 20th century development lies on the eastern fringes, although this area will already have been impacted by the foundations of the earlier building.
- 8.3 There have, therefore, already been significant truncations of any subsurface archaeology which may have been present, other than in the areas in-between where building foundations exist.
- 8.4 Given the amount of development which has taken place over a period of time, it is considered unlikely that *in-situ* features will be encountered during any excavations for footings.

9.0 ASSESSMENT OF IMPACT OF PROPOSED DEVELOPMENT

- 9.1 According to information provided by the client, the proposed building will occupy the approximate dimensions of the existing building and will be set south of the roadside but extended further east within the plot than the current building (Fig. 16).

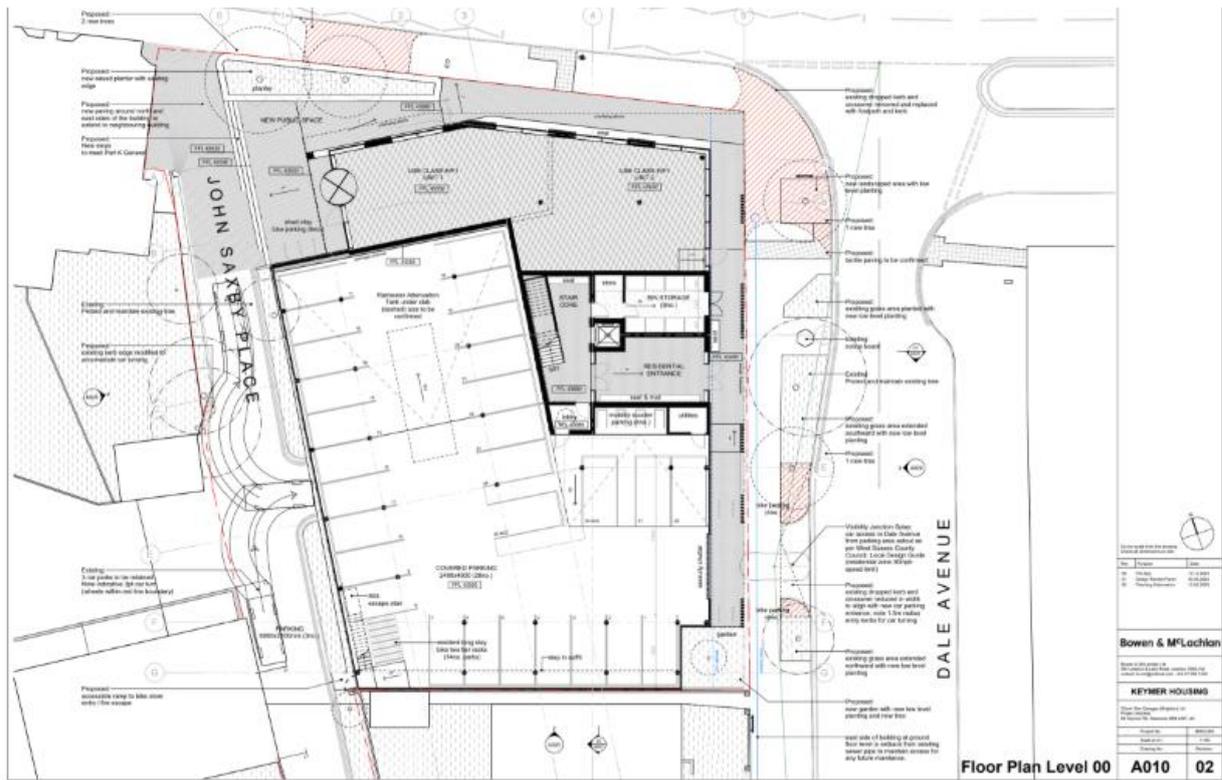


Fig. 16. Proposed Site plan © Bowen and Mc.Lachlan Ltd drawing number A010 revision 02.

- 9.2 Foundation details are not yet finalized so we can only comment in general on the proposed impact to any below ground archaeology. The foundation designs are believed to be a combination of pad and raft foundations up to at least 1.0m in depth for the trench foundations. However, the geology and integrity of these will be determined during development; with the presence of in-filled fuel tanks already impacting the soil structure, it is advised that trench depths are likely to far exceed 1.0m.
- 9.3 In addition to the foundations for the building, there is a proposed rainwater attenuation tank to be excavated under the foundation slab. The size and depth of this has not yet been defined and this is centrally located within the building (Fig. 17) so there will be deeper impacts here.

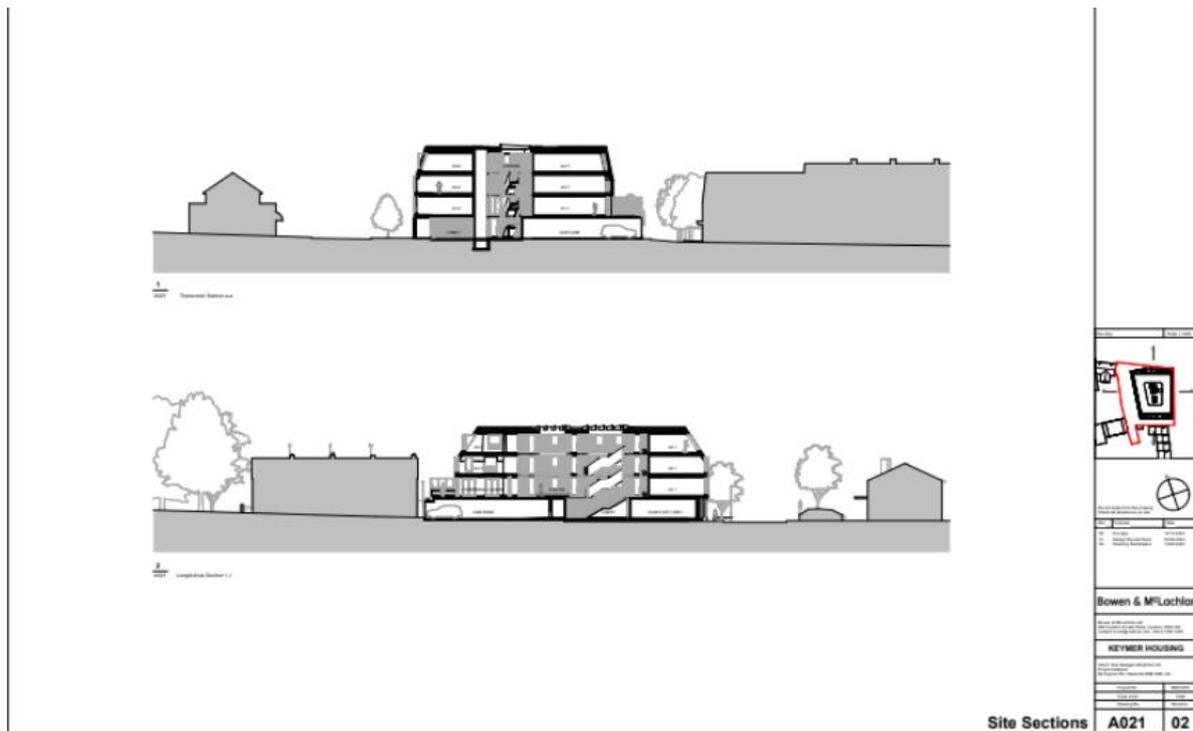


Fig. 17. East-west proposed Site section © ©Bowen and Mc.Lachlan Ltd drawing number A021 revision 02.

- 9.3 Given that the majority of the Site has been previously impacted, as discussed above, it is unlikely that further development will impact substantial archaeological features and anything found *in-situ* would be of low to negligible heritage significance. However, it is possible that artefact retrieval is still a possibility although these are unlikely to be *in-situ* and will be stray, residual finds. Given the close proximity of the Site to the Roman road, the development may uncover important artefacts linked to any roadside settlement or mortuary activity as is the norm for roadside settlement.

10.0 RECOMMENDATIONS

- 10.1 As noted in section 1.6 above, it necessary to bear in mind that desk based appraisals do not provide a *definitive* statement on the likelihood of archaeological deposits being present within the proposed development area. Therefore we have to stress that this appraisal can only suggest the potential of that area to contain archaeological features/find spots. This is based entirely on this non-intrusive report utilizing the observations made during the walk over survey as well as available historical data. As such the conclusions presented herein can only be proven by the addition of fieldwork techniques.
- 10.2 It is recommended that detailed foundation plans are submitted in the fullness of time in order to ascertain the layout of the proposed foundations so that a more detailed inspection can be made of any areas which are likely to be consolidated, un-excavated ground. It is not considered likely, but it is still a possibility.

- 10.3 If development is approved, it is recommended that some form of archaeological investigation is carried out on any below ground interventions, in particular the reduction of any ground levels for the footings required for the new building. It may be that this could be targeted within the eastern area only, where there is a higher chance of encountering consolidated ground. A suitably worded condition would be the most appropriate way to implement this.
- 10.4 With the above in mind, it is recommended that the application is discussed with the Archaeological Advisors for West Sussex so they can determine what level of archaeological investigation is appropriate.
- 10.5 The report is based on a non-invasive, non-structural survey; as such it can only extend to the items specifically covered. E&OE. Copies of paper OS Maps Reproduced from Ordnance Survey mapping with the permission of the Controller of Her Majesty's Stationery Office © Crown Copyright. OS Licence No.100055392. We wish to point out that there is no guarantee that planning permission will be granted based on the opinion of ASL within this document.

11.0 ACKNOWLEDGEMENTS

- 11.1 Thanks are due to David Saxby for commissioning ASL on behalf of the clients, Star Garages (Brighton) Ltd and for providing additional information.

Lisa Jayne Fisher Cert.Ed., BA (Hons), MA, Msc
Principal Archaeologist
Archaeology Services Lewes
March 2025 Revision A



Appendix 1

HER Summary Sheet

Site Code	SGK25
Site identification and address	The former Star Garage, 60 Keymer Road, Hassocks, West Sussex, BN6 8AR.
County, district and / or borough	Hassocks Parish in the Mid-Sussex District of West Sussex County.
O.S. grid ref.	TQ 30796 15450
Geology.	Folkestone Sandstone; part of the Lower Greensand group
Project number.	ASL 353-25
Fieldwork type.	Archaeological Desk Based Assessment
Site type.	Householder/small scale
Date of fieldwork.	March 2025
Sponsor/client.	Star Garages (Brighton) Limited
Project manager.	Lisa Fisher
Project supervisor.	Lisa Fisher
Period summary	Late 19 th century to late 20 th century overlying a Roman Road.
Project summary. (100 word max)	<p>Historic maps show no buildings within the Site boundary until 1896 so the buildings were constructed somewhere between 1873 and 1896. This report does not constitute a Historic Building Record so no detailed comments can be made about the survival of the original buildings on Site, although it is likely these were demolished when the purpose made garage building was constructed. However, it cannot be ascertained if there are surviving architectural elements internally as the building has not been inspected.</p> <p>As it stands the Site consists of a modern garage building with an open forecourt on the front, north and east sides.</p>

Appendix 2

HER consultation report

Subject: 202425-108 WSCC Householder Consultation Report for Site of 60 Keymer Road, Hassocks

Dear David,

250m Radial Search centred on NGR 530816 115447, Site of 60 Keymer Road, Hassocks, West Sussex, BN6 8AR

WSCC HER Reference Number: **202425-108. This number must be referred to in all correspondence and within any reports.**

Thank you for your enquiry requesting a Historic Environment Record (HER) Householder search for the site of 60 Keymer Road, Hassocks.

Please find attached the template for a Heritage Statement, and the Historic Environment Record Consultation Report (Appendix 1 to the Statement), as requested for the study area. These documents are to be used, should you wish, as the basis for providing heritage information with your planning application. As a minimum, the Consultation report should be submitted as part of the Planning Application.

A request made for additional information for a completed search i.e. a change of search type/radius/area or inclusion of data that was previously excluded at the request of the enquirer, will be classed as a new search and would be subject to further charging.

A copy of this email, including your HER reference number, together with any attachments and the associated plan showing the extent of the site on which the search was based, should be submitted to Mid Sussex District Council with your application.

Please note that in providing this information no judgment has been made as to the necessity for, or scope of, any further statement which may be required to meet the validation requirements of Mid Sussex District Council, nor has any judgment been made as to any possibility of the need for archaeological mitigation. You are advised to consult Mid Sussex District Council's Local Validation Requirements for further guidance.

I hope that this information is sufficient for your requirements.

Please do not hesitate to contact me if you require any further information.

Your WSCC HER Reference Number is: **202425-108.**

Best wishes,

Rachel

The West Sussex Historic Environment Record (WSHER) may be unable to undertake Priority searches. Each request will be evaluated on a case by case basis.

[Rachel Salter](#) | Historic Environment Record Officer, Environment and Heritage Team, Planning Services, [West Sussex County Council](#)

Location: Ground Floor, Northleigh, Tower Street, Chichester PO19 1RG

Internal: 26453 | External: +44 (0) 330 222 6453 | Lync

Historic Environment Record Consultation Report Appendix 1

Please see **further information** at the end of this document which covers the requirements for this report and what your next steps are.

HER Search No.

202425-108

Date completed

20/03/2025

Address of site

Site of 60 Keymer Road, Hassocks, West Sussex,
BN8 8AR

Grid Reference

530818 , 115447

Development type

Full

1. Scheduled Monument (SM)

The site is: Please see below

Description of the Scheduled Monument

There are no Scheduled Monuments within 250m of the site.

Scheduled Monument Consent (SMC) is required for any works that are within the boundary of a Scheduled Monument. Before submitting an application for SMC the applicant should seek the advice of Historic England. Where the application site is adjacent to or within 100m of a Scheduled Monument or is further than 100m from a Scheduled Monument, but could be considered to be within its setting, the applicant should visit the Historic England website to establish when to seek pre-application advice from them:

www.historicengland.org.uk/services-skills/our-planning-services/

2. Listed Building

Please choose the most appropriate option: **Please see below**

Description of the Listed Building(s)

There are no listed buildings within 250m of the site.

Where a listed building has been identified (above) the applicant should familiarise themselves with any information the LPA may hold, and seek the advice* of the local planning authority before submitting a planning application or listed building consent (LBC) application.

Where a listed building has been identified outside the boundaries to the site, the impact of the proposal on the setting of the listed building should be considered.

Where works will affect a Grade I or II* listed building or its setting the applicant should visit the Historic England website to establish when to seek pre-application advice from them:
www.historicengland.org.uk/services-skills/our-planning-services/

*Please note that some Local Planning Authorities charge for pre-application advice and information can be found on the relevant planning websites.

3. Conservation Area

The site is: **Please see below**

Description of the Conservation Area

The site is not within a Conservation Area, and there are no Conservation Areas within 250m of it.

Where a Conservation Area has been identified (above) the applicant should familiarise themselves with any Conservation Area Appraisal or other information the LPA may hold*, in order to consider any impact on the Conservation Area or its setting, prior to submitting the application. Historic England should be consulted on proposals that affect the character or appearance of a Conservation Area and which involves the erection of a new building or the extension to an existing building where the area of land in respect of which the application is made is more than 1000 square metres. Please see: www.historicengland.org.uk/services-skills/our-planning-services/

*Information can be found on the relevant planning websites

4. Registered Park and/or Garden (RP&G)

The site is: **Please see below**

Description of the Registered Park and / or Garden

There are no Registered Parks and / or Gardens within 250m of the site.

Where a Registered Park and / or Garden has been identified (above) the applicant should familiarise themselves with any information the LPA may hold*, in order to consider any impact on the Registered Park and / or Garden or its setting, prior to submitting the application.

Where the works are within or could affect the setting of a Grade I or II* Registered Park and / or Garden the applicant should visit the Historic England website to establish when to seek pre-application advice from them: www.historicengland.org.uk/services-skills/our-planning-services/

*Information can be found on the relevant planning websites

5. Archaeological Notification Area (ANA)

The site is: **Inside an ANA**

Description of and reason for the ANA

The site is located within an ANA defined due to the route of the Hardham to Barcombe Mills Roman Road through Horsham and Mid Sussex as evidenced by excavations along sections.

For further information about the ANA please contact the West Sussex HER Team: HER@westsussex.gov.uk.

6. Other Non-Designated Heritage Asset

(including buildings, structures, parks and gardens identified from the HER and/or associated sources such as historic mapping or documentary records)

Please choose the most appropriate option: **A Non-Designated Heritage Asset has been identified between 100m and 250m from the site**

Description of non-designated heritage assets

There are no recorded non-designated heritage assets within the site boundary. There has been no recorded below ground archaeological investigation of this site. [1]

Historic mapping for the site records a building along the northern boundary of the site, on a smaller footprint than the current garage at 60 Keymer Road. The building, with a circular driveway, is recorded from the mid-19th century through until the early/mid-20th century. By the later c.19th century Bonchurch Road has been created and development on the eastern side. By the early c.20th century the road has been renamed 'Parklands Road' and development is depicted on the western side. Whilst this building is not currently recorded on the Historic Environment Record, above and below ground remains of this buildings may be considered to be a non-designated heritage asset. [2]

Approximately 120m north-west of the site an evaluation was undertaken at 38 Keymer Road, Hassocks. Three trial trenches and two geoarchaeological test pits were excavated and no archaeological features or artefacts were observed in the evaluation trenching. The Geoarchaeological Test Pits concluded that the archaeological potential of the site should be considered as moderate to low. [3]

Approximately 70m north of the site lies the probable route of the Roman road (RR140) from Barcombe Mills to Hardham is described in detail by Margary. He showed that it extended nearly 40 kilometres east and west and called it the Greensand Way. Margary's work on the Roman Roads of Britain (1955, republished in 1973) identifies this stretch of Roman Road running east-west along an outcrop of Lower Greensand, approximately a mile to the north of the escarpment of the Sussex Downs. During the Roman period, extensive corn growing on the South Downs required ease of transportation from areas of production to markets; the Roman Greensand Way was part of that communication network.

The site of an outfarm (approximately 110m south of 60 Keymer Road), has been identified as a Historic Outfarm through the 'Historic Farmsteads and Landscape Character in West Sussex' Project which identified farmsteads/outfarms shown on the Ordnance Survey 2nd Edition 25' mapping of c.1895.

This Outfarm was a 19th century double sided loose courtyard outfarm or field barn. It was in an isolated location but the outfarm has been totally demolished/lost. It is possibly associated with a large house and glass houses on the South side. [4]

7. HER data sources

[1] West Sussex Historic Environment Record database

[2] Tithe map and OS historic mapping (WSRO)

[3] Worrall, S. (2004) 38 Keymer Road, Hassocks: Evaluation ASE Project No. 1984

[4] a) Historic England (2017) Addition to the Schedule of Monuments – Section of Roman Road north of Rock

b) Margary, I (1955) Roman Roads of Britain

c) West Sussex Historic Environment Record database

d) Edwards, R. (2004) West Sussex Farmstead Characterisation Project

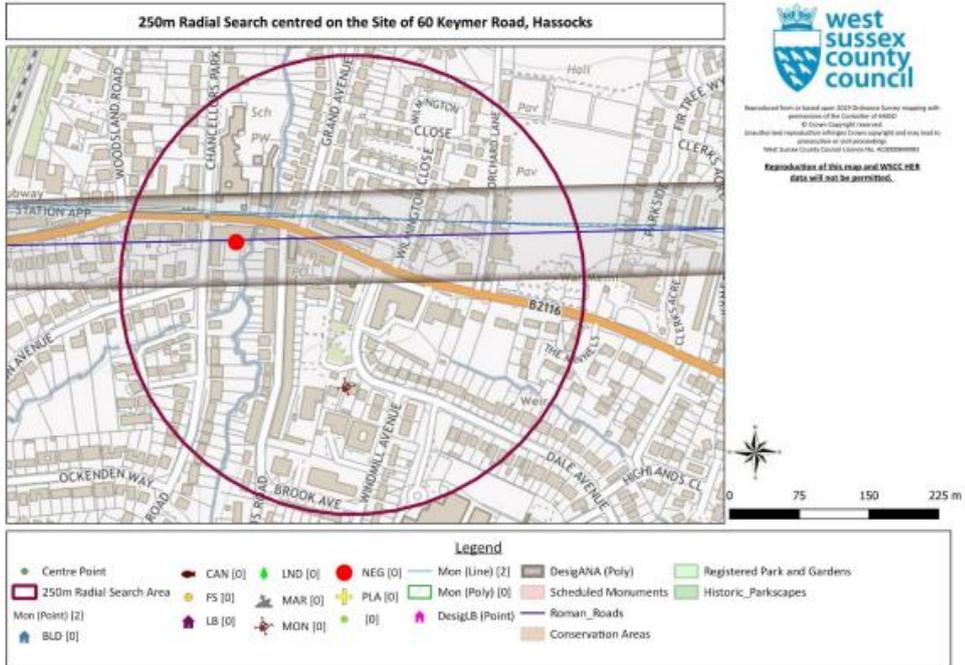
8. Further Information

The local planning authority may apply conditions on any forthcoming planning permission to require appropriate mitigation surveys and recording before and/or during development

Guidance with regard to development and historic farmsteads can be found at: <https://historicengland.org.uk/images-books/publications/south-east-farmsteads-character-statement/> and also by discussion with the LPA.

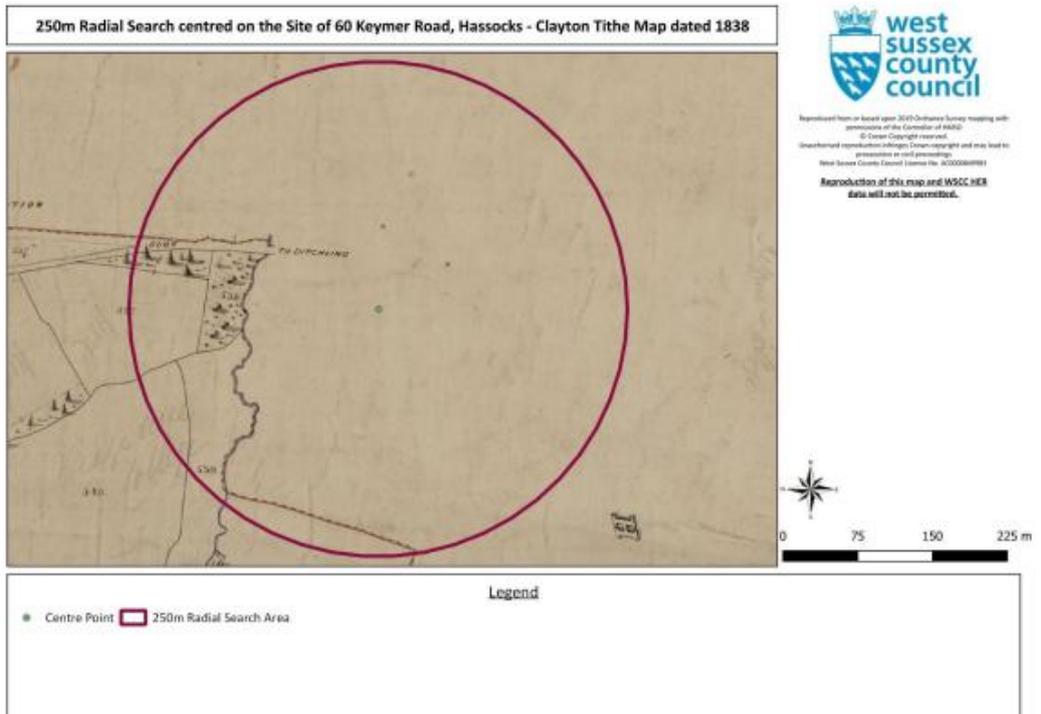
The information in this report will need to be attached as Appendix 1 to the Heritage Statement. You may be required by the Local Planning Authority to provide additional information or undertake further research to complete the Heritage Statement.

Map of HER Data

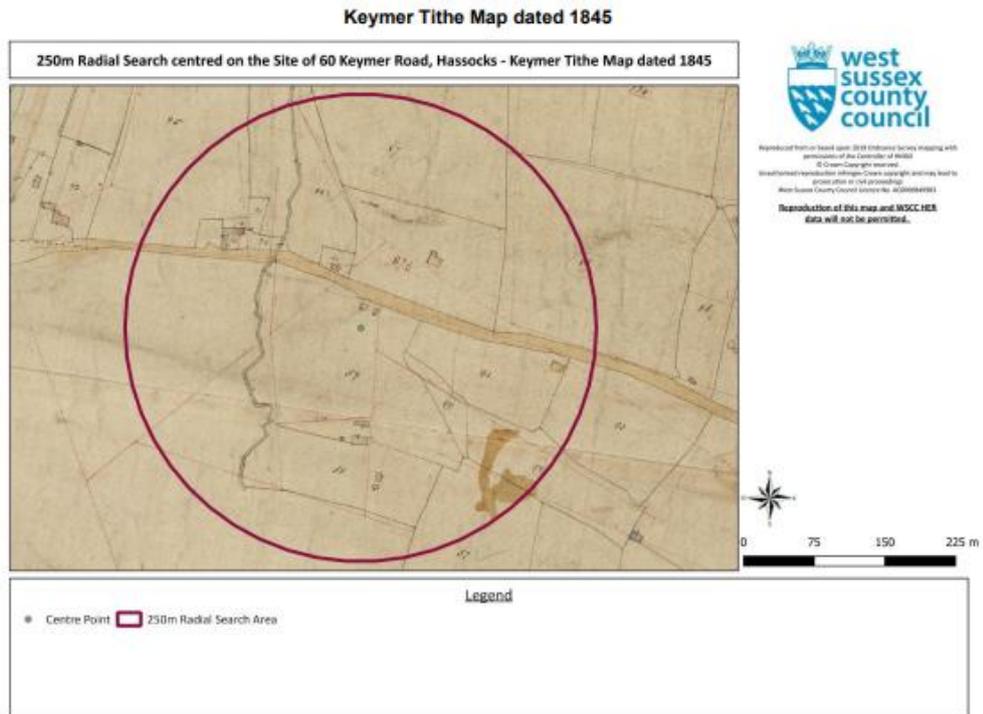


6

Clayton Tithe Map dated 1838



7



Further information

The **Historic Environment Record Consultation report (Appendix 1)** provides information about designated and non-designated heritage assets on and adjacent to a proposed development site. This information is taken from information recorded in the West Sussex Historic Environment Record (WSHER), including historic maps.

The **Historic Environment Record Consultation report (Appendix 1)** will be completed by the West Sussex Historic Environment Record Team. This report identifies heritage assets recorded in WSHER that are located within the development site or within 250m of the development site.* This information should inform proposals and the production of a **Heritage Statement** required by the Local Planning Authority in accordance with the National Planning Policy Framework.

The **National Planning Policy Framework** (Department for Communities and Local Government, July 2018) **Section 207** states that: *In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.*

Please use the information provided in the **Historic Environment Record Consultation report (Appendix 1)** to aid the completion of the **Heritage Statement**. Both of these documents will need to be completed and submitted to the Local Planning Authority with the planning application.

Description of the term **Heritage Asset**: A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage Asset includes designated heritage assets and assets identified by the local planning authority (including local listing).

**The information in the West Sussex County Council Historic Environment Record although verified as far as possible, is not definitive and WSHER cannot be held responsible for any inaccuracies in the data. The 100m and 250m distances indicated are given as a guide in order to identify heritage assets that may be affected by the proposal. The Local Planning Authority may identify further designated and/or non-designated heritage assets that require further research to determine the impact of the proposed development on these assets and/or their setting*