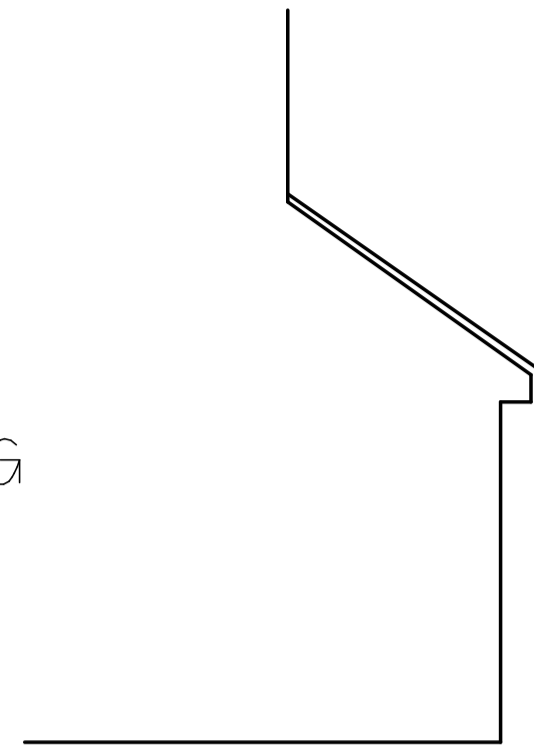
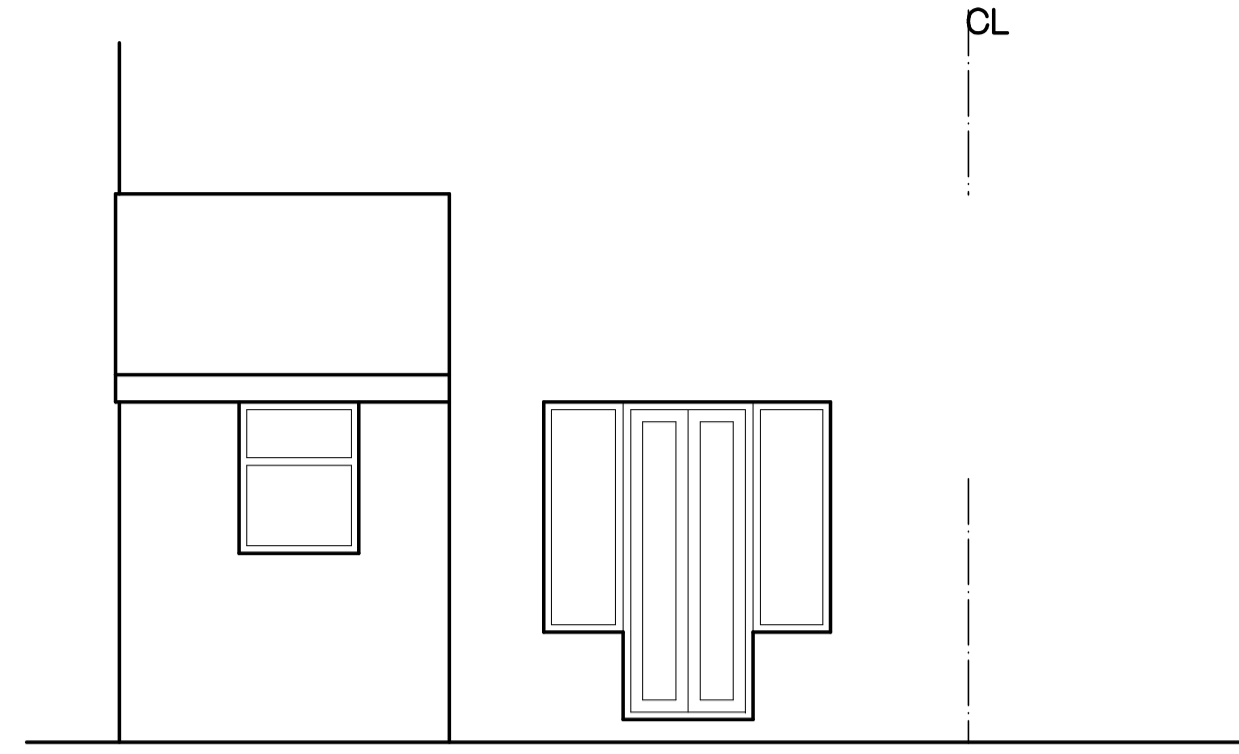


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EXISTING



SIDE ELEVATION



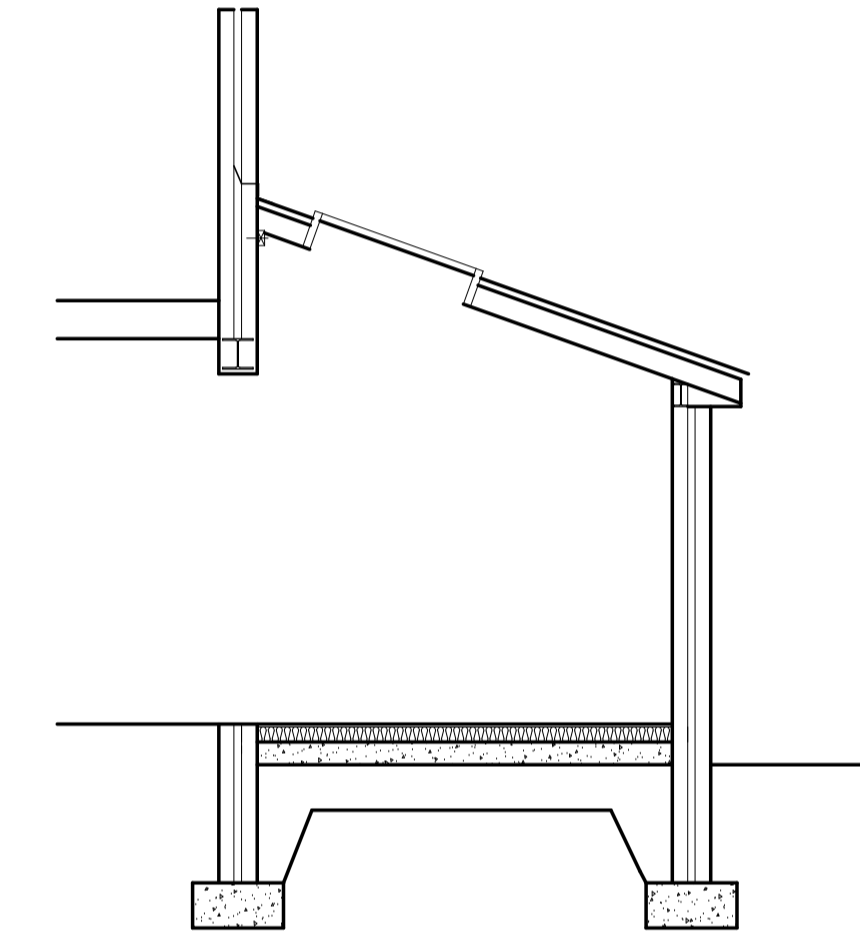
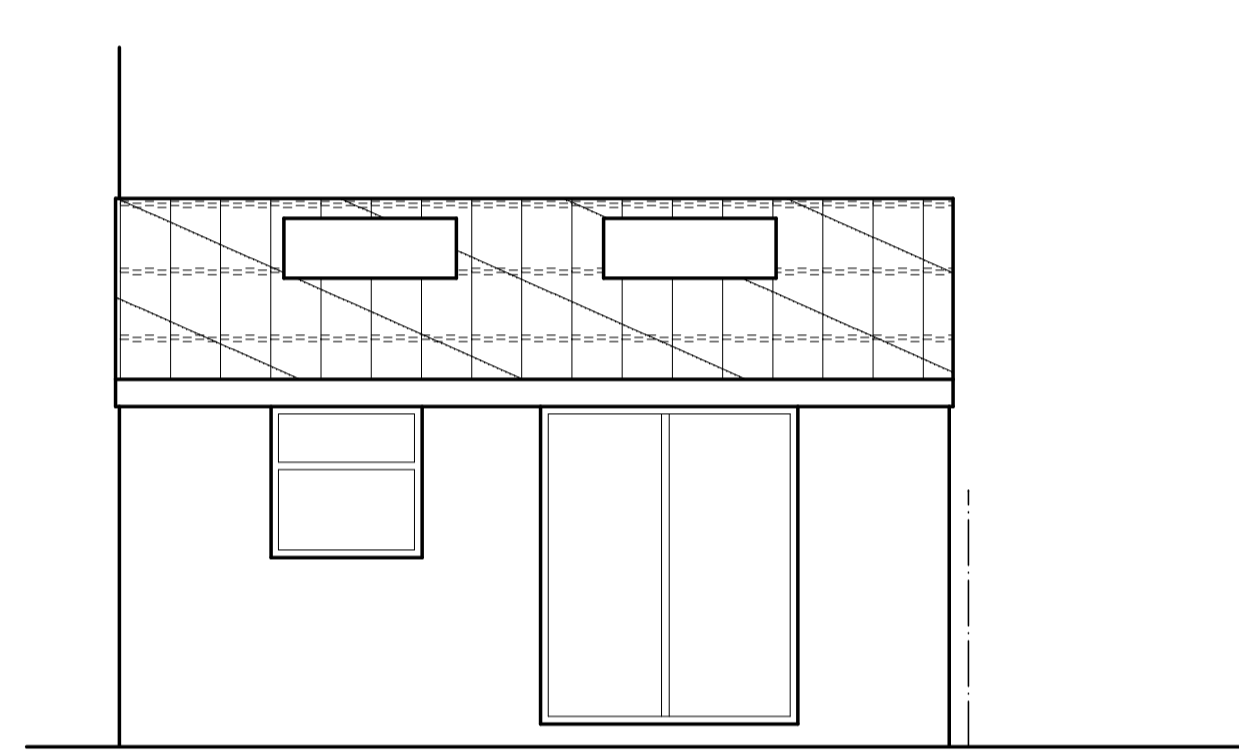
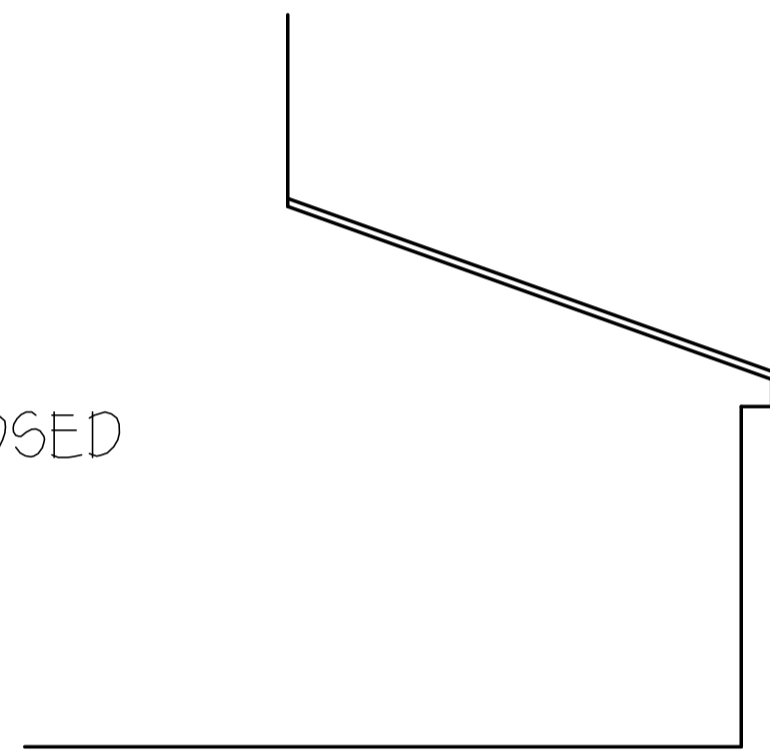
REAR ELEVATION

SIDE ELEVATION

NOTES FOR PLAN

- All works to comply with building regulations 2010 as amended.
- All plumbing to BS 7532.
- All drainage to BS 12036.
- All gas/ heating and hot water works to be by gas safe registered installer.
- Water to all outlets to be wholesome water max temperature 48/0c.
- All electrical works by part P certified electrician.
- Existing structure to be checked and upgraded as necessary prior to commencement of other works.
- All steelwork to be protected by two layers 12.5mm plasterboard with a 5mm set finish or approved innumesant paint.
- Pad stones min 150 high and to suit brick sizes.
- Windows all double glazed to comply with latest heat loss regulations min 1.6w/m2/0k.
- Fire escape windows to all habitable rooms min 400 x 450, min 333w2
- Safety glass to all doors and windows in critical locations as detailed in building regs part N.
- Min 1/20 of floor area operable ventilation. Min 8000mm trickle ventilation to each room.
- Mechanical extract to any bathrooms, utility and kitchen/ cooker hood min 30/s.
- Mechanical extract to internal wc 6 l/s with 15 min overrun and 10mm airgap below door.
- Drainage 100mm soil and vent pipe/underground quality where necessary surrounded in 100 pea shingle.
- Vent pipes to finish min 900mm above any window within 5m.
- AAV to be min 150 above overspill level of any appliance it serves.
- 38mm waste to sink bath and shower, 32 mm waste to basins 20mm where any wastes are combined.
- Rodding points at all changes in direction 75mm deep seal traps.
- 100 half rand pvc gutter with 83 down pipes to discharge to existing disposal system or if inadequate soakaway min 1m3 min 1m from any building.
- Mains connected fire alarm system with battery back up to extended area, ground floor hallway and any landings.
- Energy efficient lighting to altered areas min 3 in 4.

PROPOSED



SECTION

Pitched roof - Tiles to match existing on 50 x 25 treated battens on procor dalex or similar venting slating felt on 130 x 50 rafters at 400 c/s. Double rafter either side of ridge windows. 12.5 mm plasterboard below. 150 celorex between rafters, 100 x 50 wall plate at head bolted to wall with 10mm bolts at 300 c/s. Top of rafters birds mounded and well fixed to upper wall plate.

5 x 32 x 1m galvanised holding down and gable straps at 2m c/s with noggins between rafters.

Walls - Brickwork to match existing. 150 cavity with stainless steel ties 450 vert 750 horizontal staggered double ties around openings. Cavities closed around openings with proprietary insulated cavity closers. Cavities made effectively continuous with existing. 100 celorex against inner skin. 100 turbo blocks 2 or lightweight plaster.

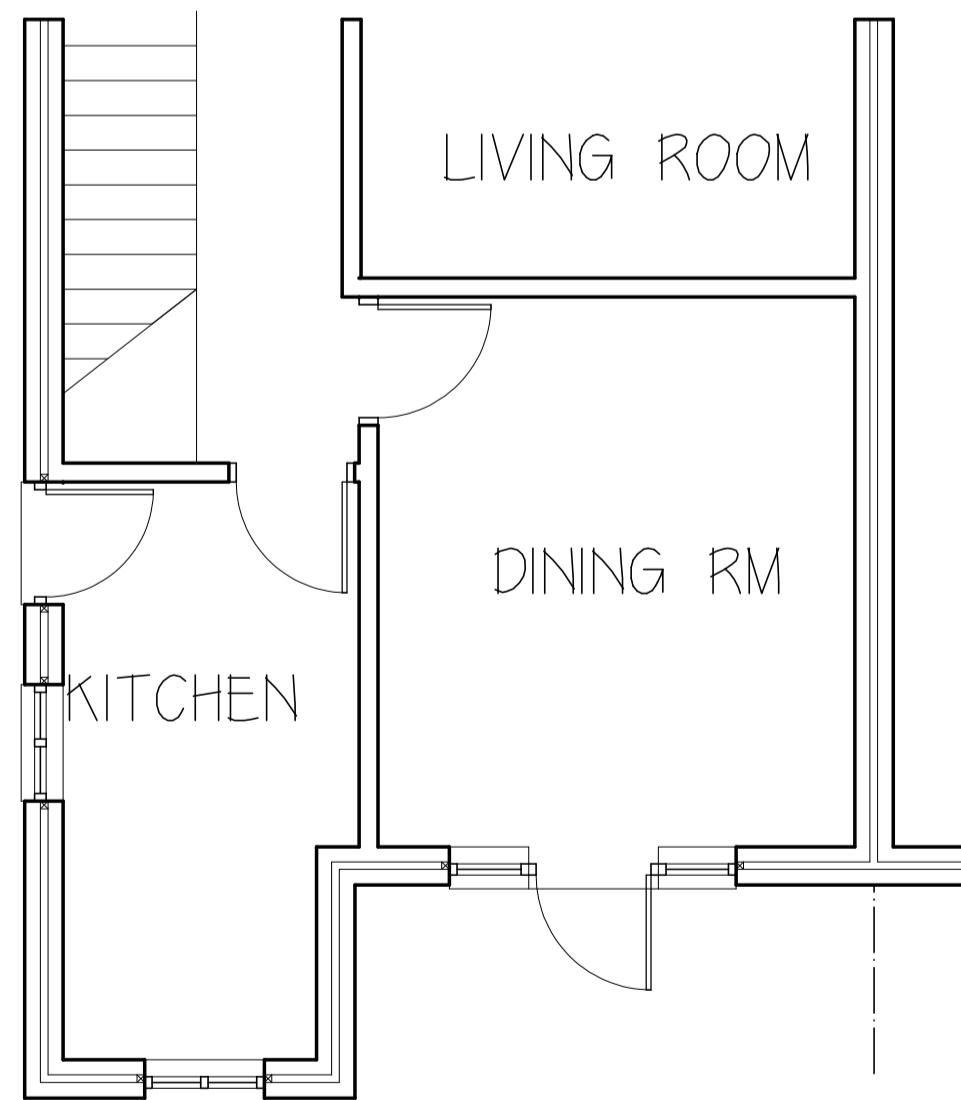
Code 4 lead flashings (and cavity trays where roof abuts cavity wall), at abutments between walls and roof.

ground floor - 100mm flooring grade chipboard on 100mm celorex on 1200 g gpm lapped to dpc in wall on 150 grade 30 concrete on 300 well compacted hardcore

Stud walls 100 x 50 studs at 400 c/s 125 plasterboard

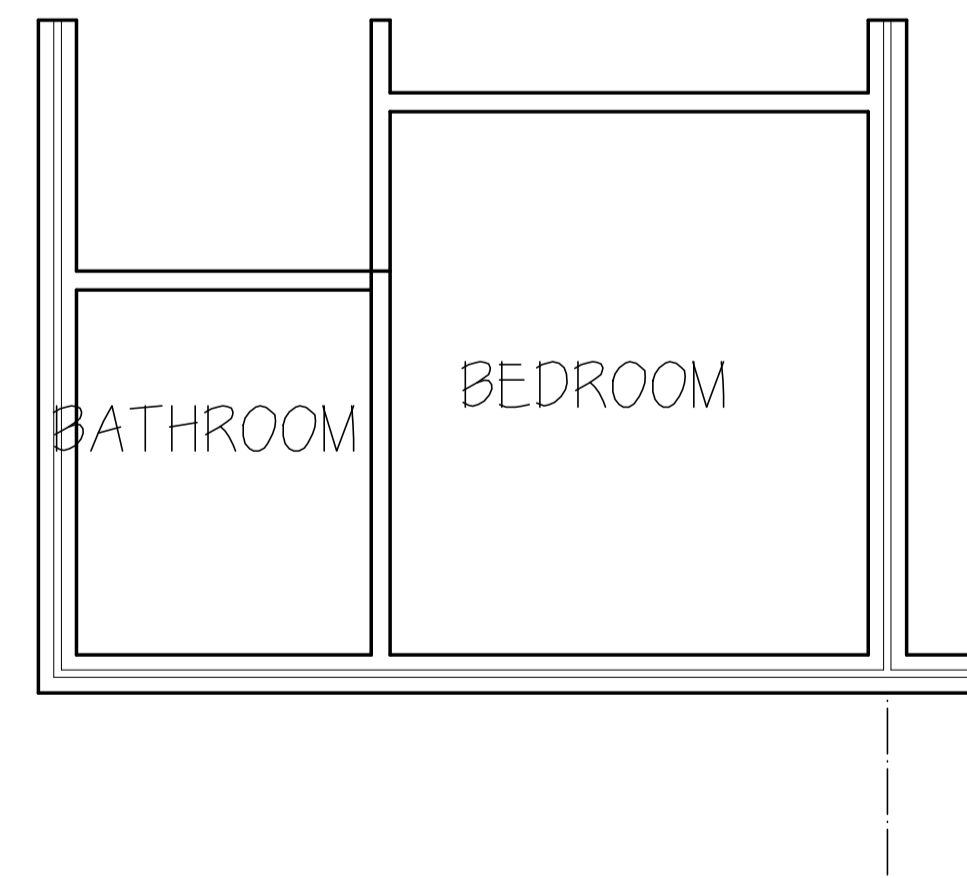
Foundations- 450 wide deep strip concrete foundations min 1 m below ground level and to suit site conditions, two skins dense concrete blocks 100x 150 cavity with stainless steel ties 450 vert 750 hor staggered. Fine concrete fill to 225mm below dpc level.

EXISTING



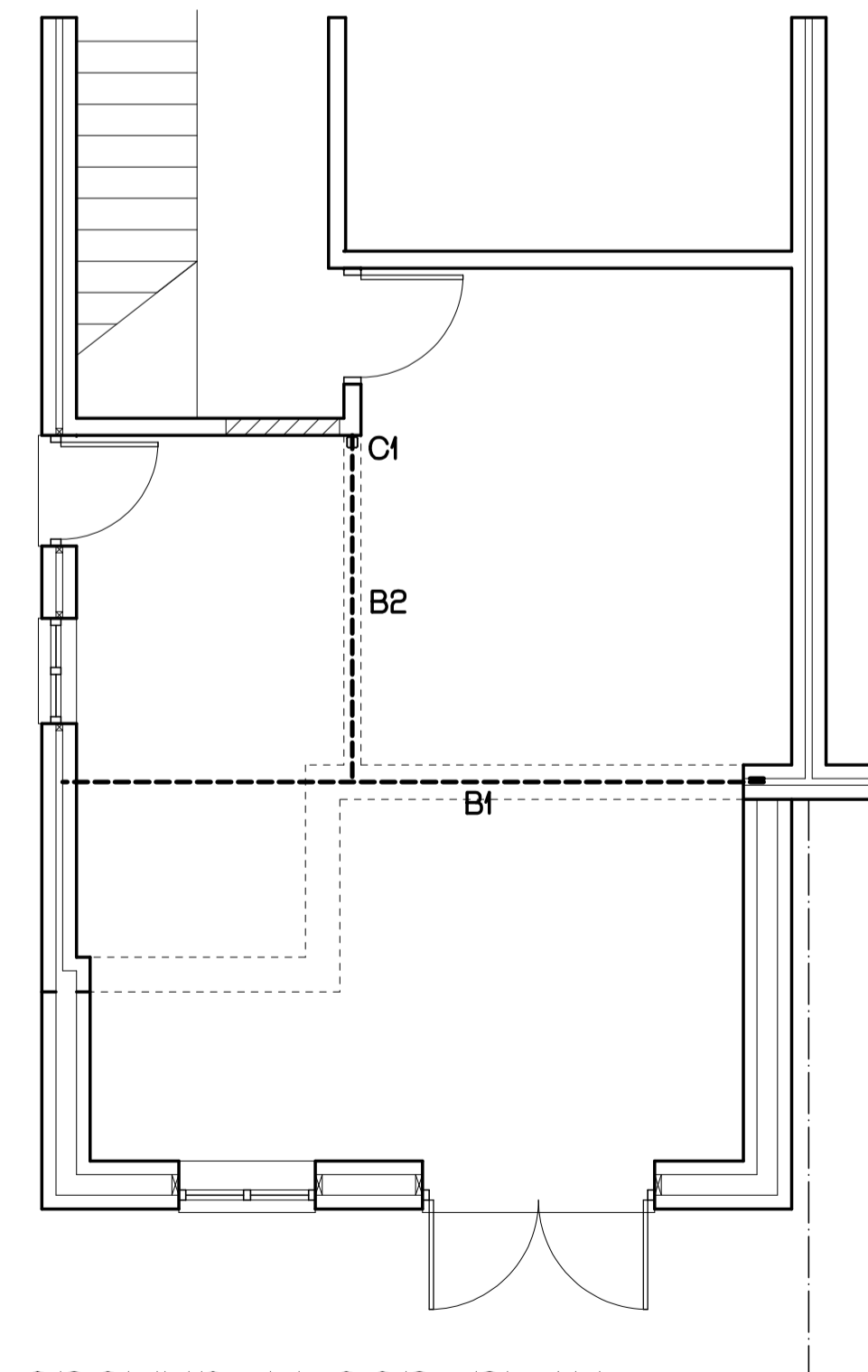
GROUND FLOOR PLAN

EXISTING



FIRST FLOOR PLAN

PROPOSED



GROUND FLOOR PLAN

STEPHEN BROMLEY ASSOCIATES
5 WEST ST SHOREHAM BY SEA
WEST SUSSEX

PROPOSED SINGLE STOREY
EXTENSION AND ALTERATIONS

AT SCALE 1-50

26 DELLNEY AVE

Drawing no 1b