

From: Anna Tidey
Sent: 23 June 2025 14:22:22 UTC+01:00
To: "Shloime | Redwoods" <Shloime@redwoodsprojects.co.uk>
Cc: "Isaac | Redwoods" <isaac@redwoodsprojects.co.uk>; "David R" <dr@p4i.co.uk>; "Steve Ashdown" <Steve.Ashdown@midsussex.gov.uk>
Subject: RE: DM/25/1077 - Change of use from commercial space to two flats at 2 - 8 Sussex Road Haywards Heath West Sussex RH16 4EA

Dear Shloime

Thank you for your email regarding the above application.

A formal decision will not be issued on DM/25/1077. If you consider that prior approval is now deemed to have been granted for the above application may I suggest that you submit a Certificate of Lawful Development to establish that the proposed development is lawful.

Details on how to apply can be found on the MSDC website, see: [Apply for Planning Permission - Mid Sussex District Council](#)

Regards
Anna Tidey
Planning Officer

Submit your planning application online.
<http://www.planningportal.gov.uk>

Anna Tidey BA(Hons) MPhil MRTPI
Planning Officer
Development Management

Tel: +44 (0)1444 477342
anna.tidey@midsussex.gov.uk <http://www.midsussex.gov.uk>



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 - **SAVE A TREE** Only print this email if absolutely necessary.

From: Shloime | Redwoods <Shloime@redwoodsprojects.co.uk>
Sent: 23 June 2025 08:00
To: Anna Tidey <anna.tidey@midsussex.gov.uk>
Cc: Isaac | Redwoods <isaac@redwoodsprojects.co.uk>; David R <dr@p4i.co.uk>; Steve Ashdown <Steve.Ashdown@midsussex.gov.uk>
Subject: Re: DM/25/1077 – Confirmation of Deemed Prior Approval under Class G

Dear Anna,

Thank you for your email dated 20 June and for your update following your return from leave.

We appreciate your ongoing efforts in handling the case and understand the pressures that come with competing caseloads and annual leave. However, we must respectfully clarify that we did not provide written agreement to your request for an extension of time made on 10 June. In the absence of such written agreement, the statutory determination period under **Paragraph W(11)(c)** of Schedule 2, Part 3 of the GPDO 2015 (as amended) expired on **18 June 2025**.

As no formal decision was issued by that date, and no extension was agreed in writing, **prior approval is now deemed to have been granted**. The legislation does not allow the Council to issue a decision beyond this date unless an extension has been expressly accepted by the applicant.

We note your comments regarding a previously proactive working relationship. While we have always aimed to engage constructively, we would respectfully highlight that in the case of application **DM/24/2152**, despite our efforts to cooperate and offer additional time to submit requested documentation, the application was refused prematurely. This context may explain our cautious approach on this occasion.

Should the Council hold a different legal interpretation in relation to the deemed approval, we would be grateful to receive a formal explanation setting out the statutory basis for that position.

We remain open to positive engagement and look forward to working constructively with the Council on future proposals.

Kind Regards,

Shloime Godlewsky Managing Director

[020 3781 8008](tel:02037818008) shloime@redwoodsprojects.co.uk

www.RedwoodsProjects.co.uk Unit 4, Grosvenor Way, London E5 9ND

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On Fri, 20 Jun 2025 at 16:00, Anna Tidey <anna.tidey@midsussex.gov.uk> wrote:

Dear Shloime

Thank you for your email. I have returned from leave today.

I shall be grateful if you review the email I sent to Isaac at Redwoods on 10.06.2025, asking for an Extension of time, see attached, to which I do not appear to have received any response.

Please be aware that at that time I was still awaiting a response from the Council's Flood Risk and Drainage Section. Their response was received on 17.06.2025, whilst I was on leave from work.

I have copied the Head of Development Management, Steve Ashdown, into this response. I had understood from our previous discussions we have a proactive working relationship. It is disappointing that this has not been maintained.

I do still intend to assess the case and make a recommendation for a formal decision by 04.07.2025, as I advised you on 10.06.2025.

Regards
Anna Tidey
Planning Officer

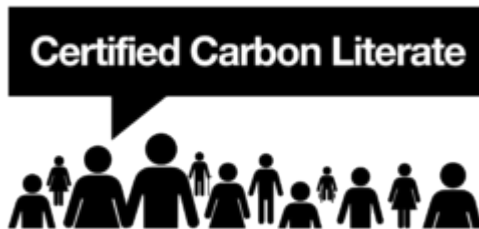
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From: Shloime | Redwoods <Shloime@redwoodsprojects.co.uk>

Sent: 19 June 2025 12:29

To: Anna Tidey <anna.tidey@midsussex.gov.uk>

Cc: Isaac | Redwoods <isaac@redwoodsprojects.co.uk>; David R <dr@p4i.co.uk>

Subject: DM/25/1077 – Confirmation of Deemed Prior Approval under Class G

Dear Anna,

Re: DM/25/1077 - 2-8 Sussex Road, Haywards Heath, RH16 4EA
Application under Schedule 2, Part 3, Class G of the GPDO 2015 (as amended)

I hope you are well.

I am writing in relation to the above application, which was received by the Council on 23 April 2025, as confirmed in your validation correspondence dated 28 April 2025.

In accordance with Paragraph W(11)(c) of Schedule 2, Part 3 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), where no decision has been issued within 56 days of the date of receipt and no written extension of time has been agreed, prior approval is deemed to be granted.

We appreciate the time and input you and the relevant consultees have given to the case and understand the pressures that come with high caseloads and annual leave. However, in the absence of a decision within the statutory timeframe, we are obliged to proceed on the basis that prior approval is now deemed granted.

Please do let us know if you believe there is any material reason to dispute this position.

Kind Regards,

Shloime Godlewsky Managing Director

[020 3781 8008](tel:02037818008) shloime@redwoodsprojects.co.uk

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