

**Land north of Burleigh Lane**

**Crawley Down**

**West Sussex**

**Landscape and Visual Appraisal**  
**Appendix 1**

By

**Landscape Perspective Ltd**

On behalf of

**Merrow Wood**

**June 2025**

**Job Number 1778**



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**Figure 11:** NB: All photographs were taken during April 2025

## Land north of Burleigh Lane, Crawley Down

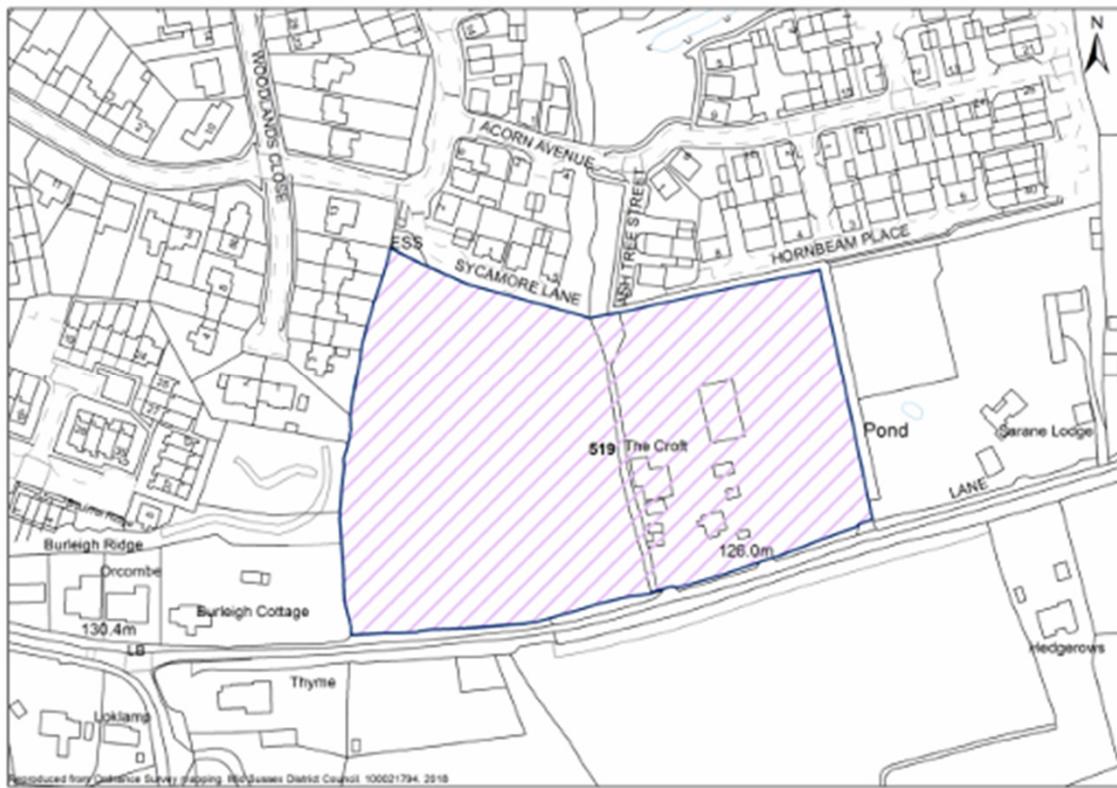
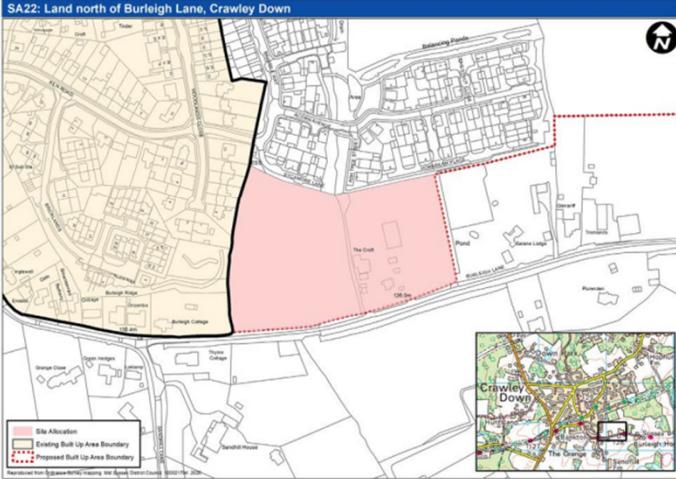


Figure 01: Location plan (NTS)

SA 22 Land north of Burleigh Lane, Crawley Down						
SHELAA:	519	Settlement:	Crawley Down			
Gross Site Area (ha):	2.25	Number of Units:	50 dwellings			
Description:	Housing allocations					
Ownership:	Private landowner					
Current Use:	Former commercial site now overgrown and unused	Indicative Phasing:	1 to 5			
Delivery Mechanisms:	Private landowner in partnership with developer					
						
<b>Objectives</b> <ul style="list-style-type: none"> <li>To deliver a high quality, landscape led, sustainable extension to Crawley Down, which respects the character of the village and the surrounding countryside, and which is comprehensively integrated with the settlement so residents can access existing facilities.</li> </ul>						
<b>Urban Design Principles</b> <ul style="list-style-type: none"> <li>Concentrate higher density development towards the northern part of the site to reflect the existing settlement pattern, with a lower density towards the southern edges to help create a successful transition with Burleigh Lane.</li> <li>Oriентate development to have a positive active frontage in relation to the existing settlement, attractive tree boundaries and to define open spaces and routeways.</li> <li>Seek to enhance the connectivity of the site with Crawley Down village by providing pedestrian and/or cycle links to Sycamore Lane, Burleigh Way and adjacent existing networks.</li> </ul>						
<b>Landscape Considerations</b> <ul style="list-style-type: none"> <li>Retain and enhance existing mature trees and hedgerows on the site and around the boundaries and incorporate these into the landscaping structure for the site to limit impacts on the countryside. Open space should be provided as an integral part of this landscape structure and should be prominent and accessible within the scheme.</li> </ul>						

- Protect the rural character of Burleigh Lane and views from the south by minimising loss of trees and hedgerows along the southern boundary and reinforcing any gaps with locally native planting.
- Protect the character and amenity of existing public footpaths and seek to integrate these into the Green Infrastructure proposals for the site.

**Social and Community**

- Provide a Locally Equipped Accessible Play Space (LEAP) that is inclusive to the local community.

**Historic Environment and Cultural Heritage**

- Provide appropriate mitigation to protect the rural setting of the Grade II listed Burleigh Cottage adjacent to the west of the site by creating a sufficiently sized landscape buffer of open space between the listed building and the new development. Provide a hedgerow/ tree belt screening between the open space and the development to protect the rural setting of Burleigh Cottage. The mitigation strategy should be informed by a Heritage Impact Assessment.
- Protect the rural character of Burleigh Lane and the setting of Burleigh Cottage by retaining the stone gateways on Burleigh Lane along the southern boundary of the site.

**Air Quality / Noise**

- No site specific sensitivities identified.

**Biodiversity and Green Infrastructure**

- Undertake an holistic approach to Green Infrastructure provision through biodiversity and landscape enhancements within the site connecting to the surrounding area.
- Conserve and enhance areas of wildlife value and ensure there is a net gain to biodiversity. Avoid any loss to biodiversity through ecological protection and good design. Where this is not possible, mitigate and as a last resort, compensate for any loss.

**Highways and Access**

- Provide access from Sycamore Lane.
- Provide a sustainable transport strategy to identify sustainable transport infrastructure improvements and how the development will integrate with the existing network, providing safe and convenient routes for walking, cycling and public transport through the development and linking with existing networks.

**Flood Risk and Drainage**

- Existing surface water flow paths cross the site and there is a watercourse adjacent to the east of the site. Provide a Flood Risk Assessment (FRA) to inform the site layout and any necessary mitigation measures that may be required.
- Design Surface Water Drainage to minimise run off to adjacent land, to incorporate SuDS and to ensure that Flood Risk is not increased.

**Contaminated Land**

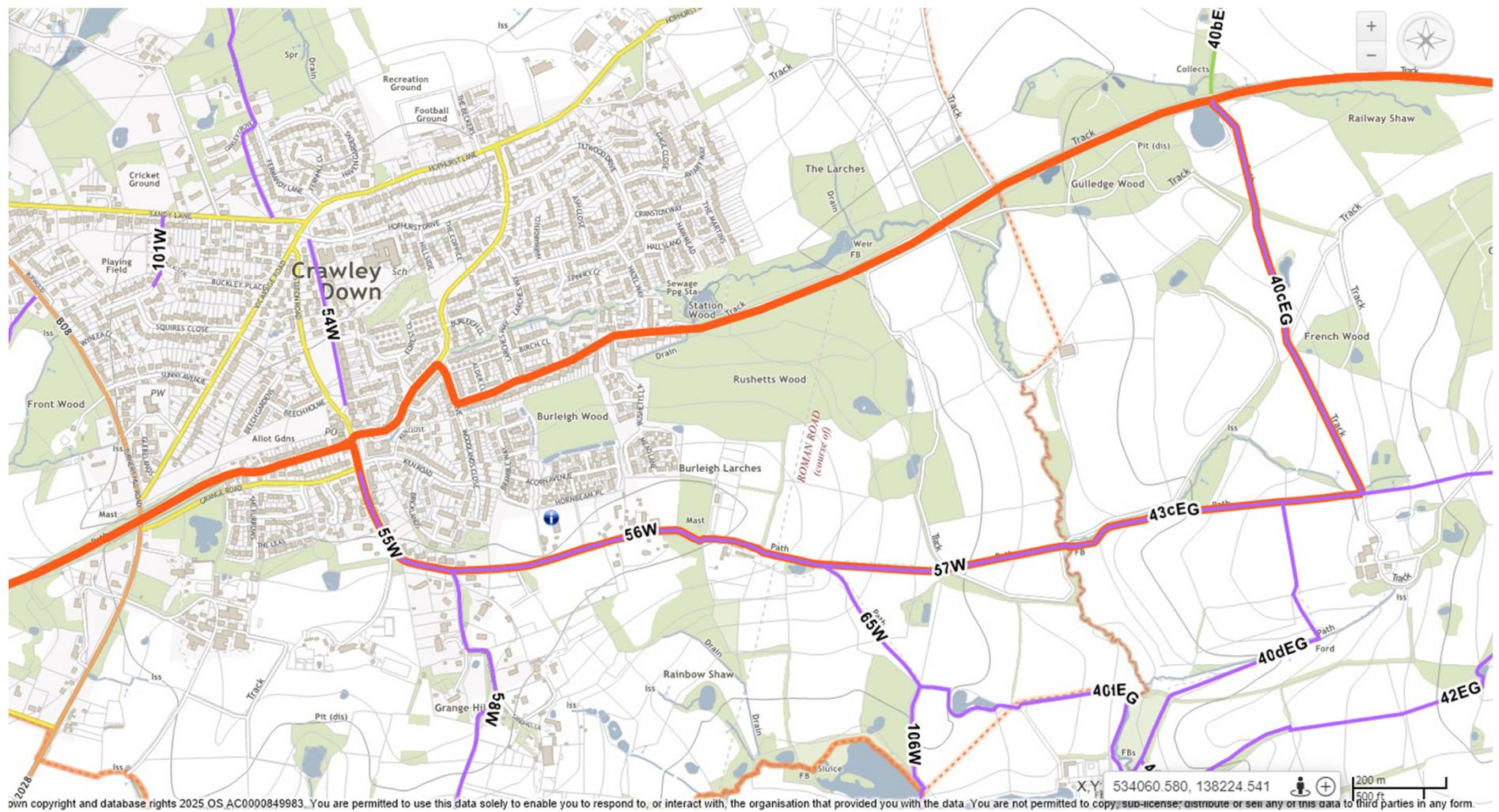
- The land may be contaminated due to present or historical on site or adjacent land uses. Provide a detailed investigation into possible sources of on-site contamination together with any remedial works that are required.

**Utilities**

- Upgrade to the Sewerage infrastructure network is required. Occupation of development should be phased to align with the delivery of sewerage infrastructure in liaison with the service provider.



Figure 02: SHELAA 519: allocated site SA 22



**Figure 03: Public Rights of Way** (West Sussex Interactive map)



Figure 04: Topography (<https://en-gb.topographic-map.com>)

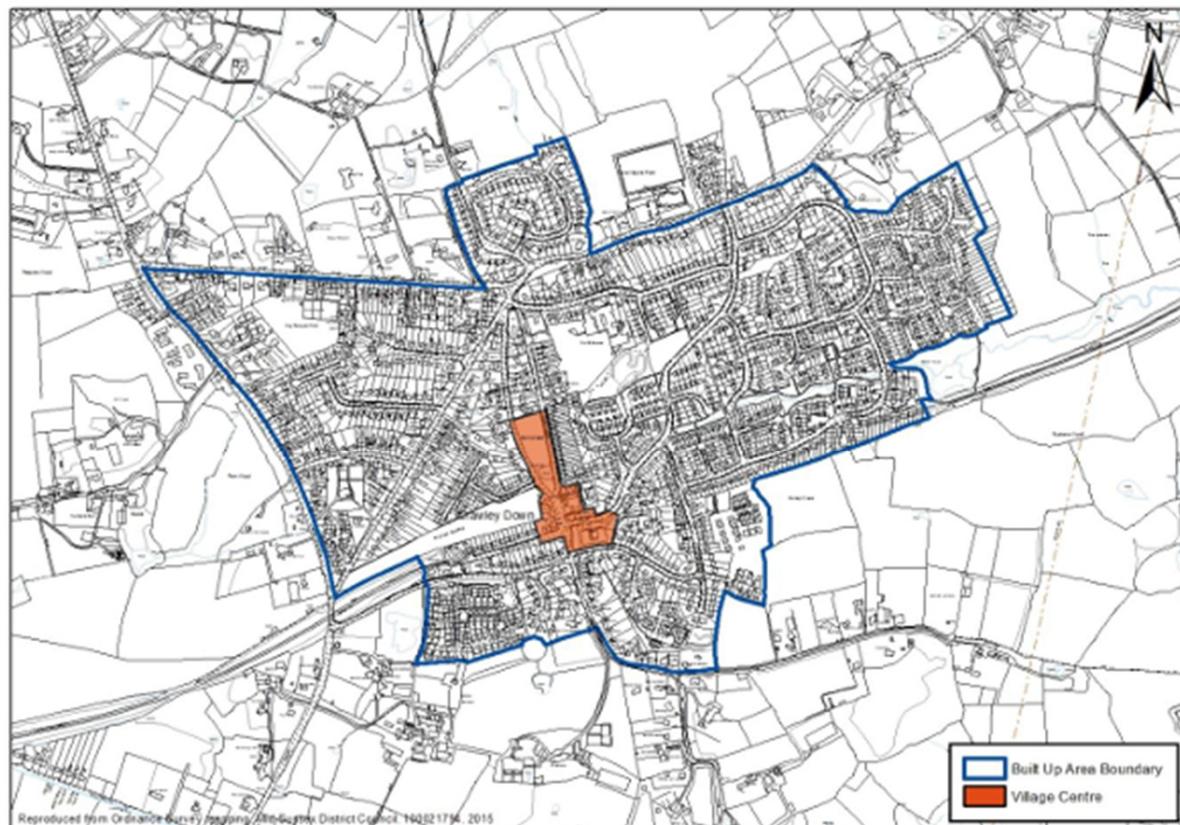


Figure 7. The village centre showing the built-up area boundary (BUAB)

Figure 05: Built up Area Boundary for Crawley Down (Extract from Neighbourhood Plan)

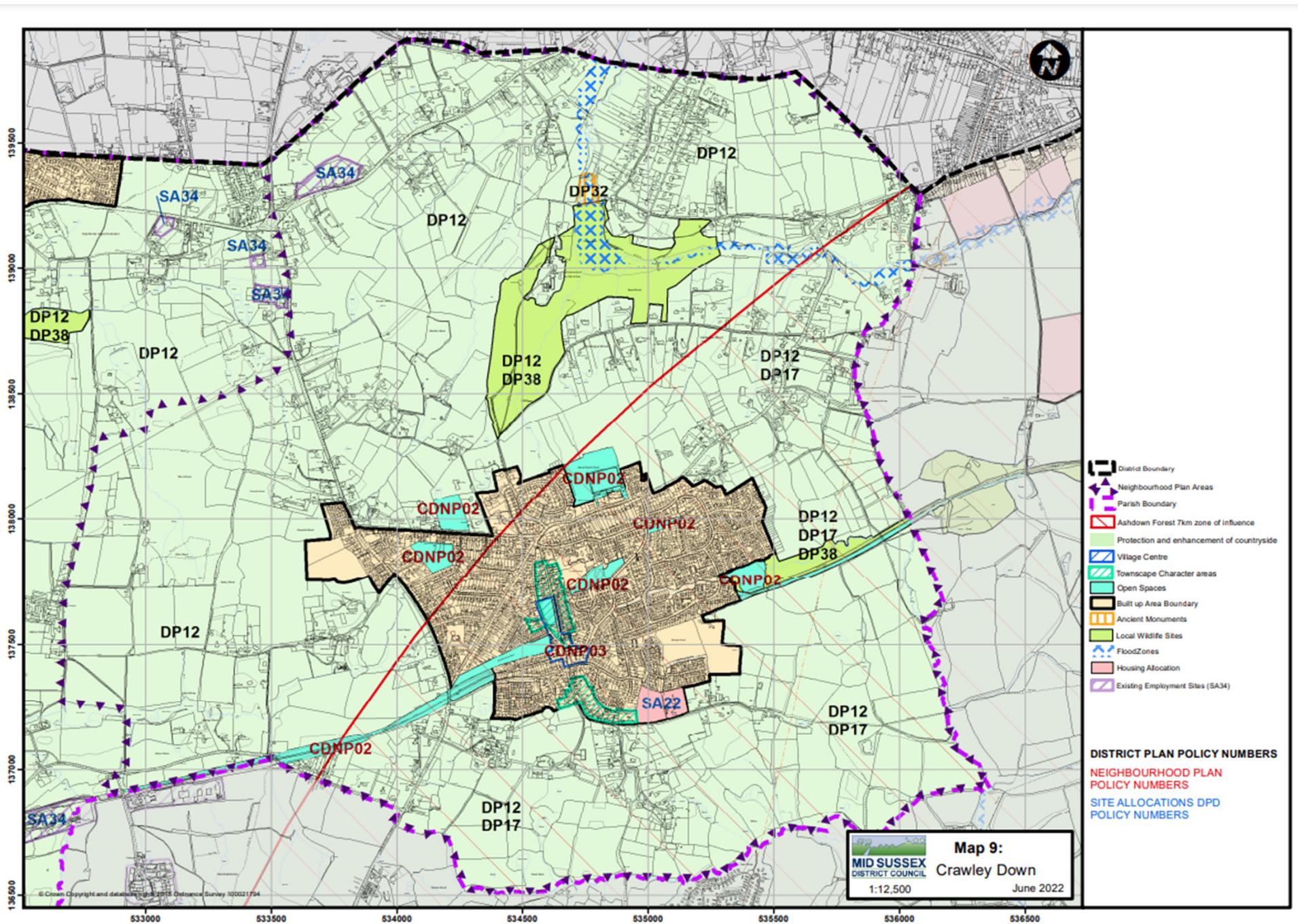


Figure 06: Townscape character area and site allocation reference

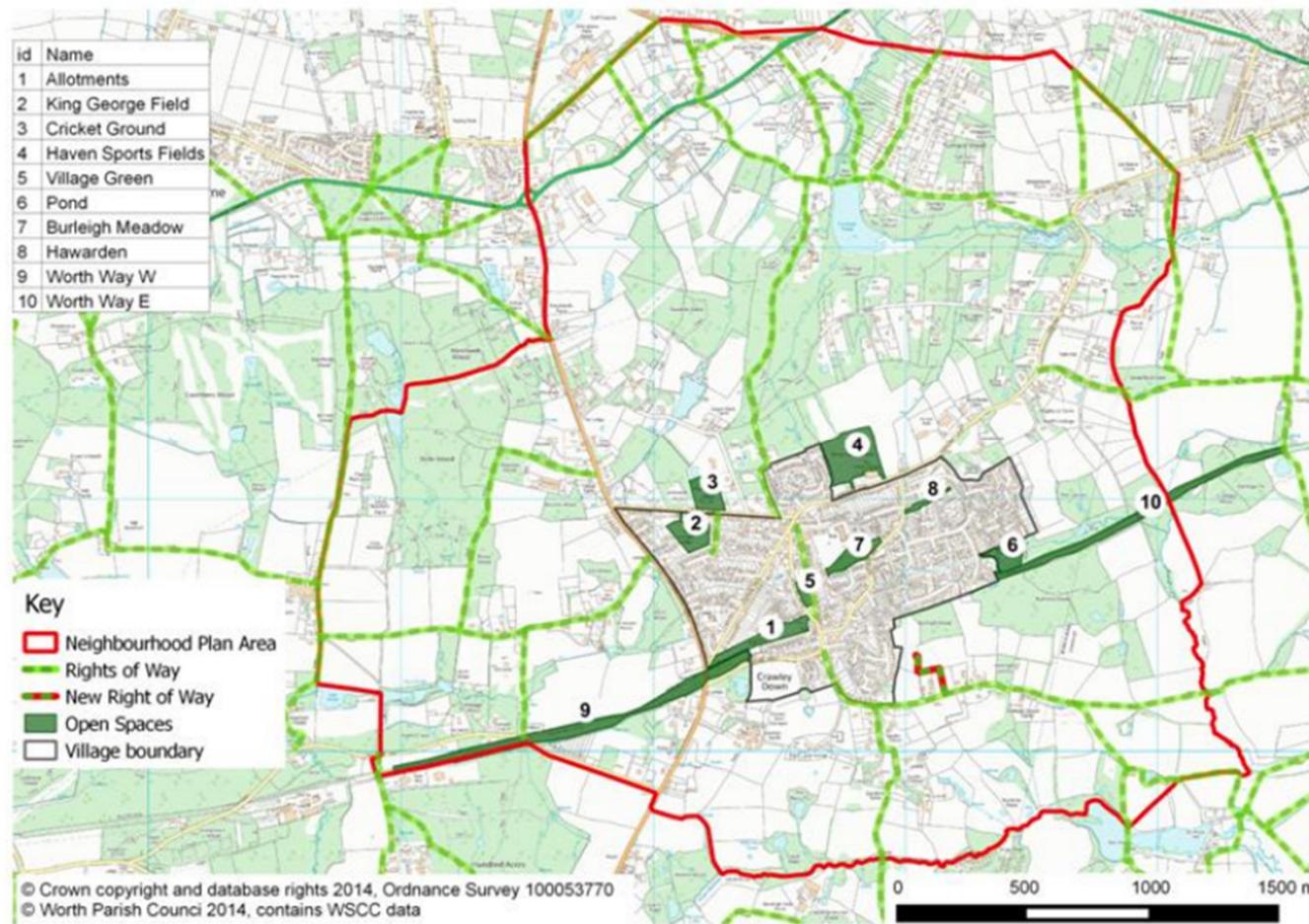
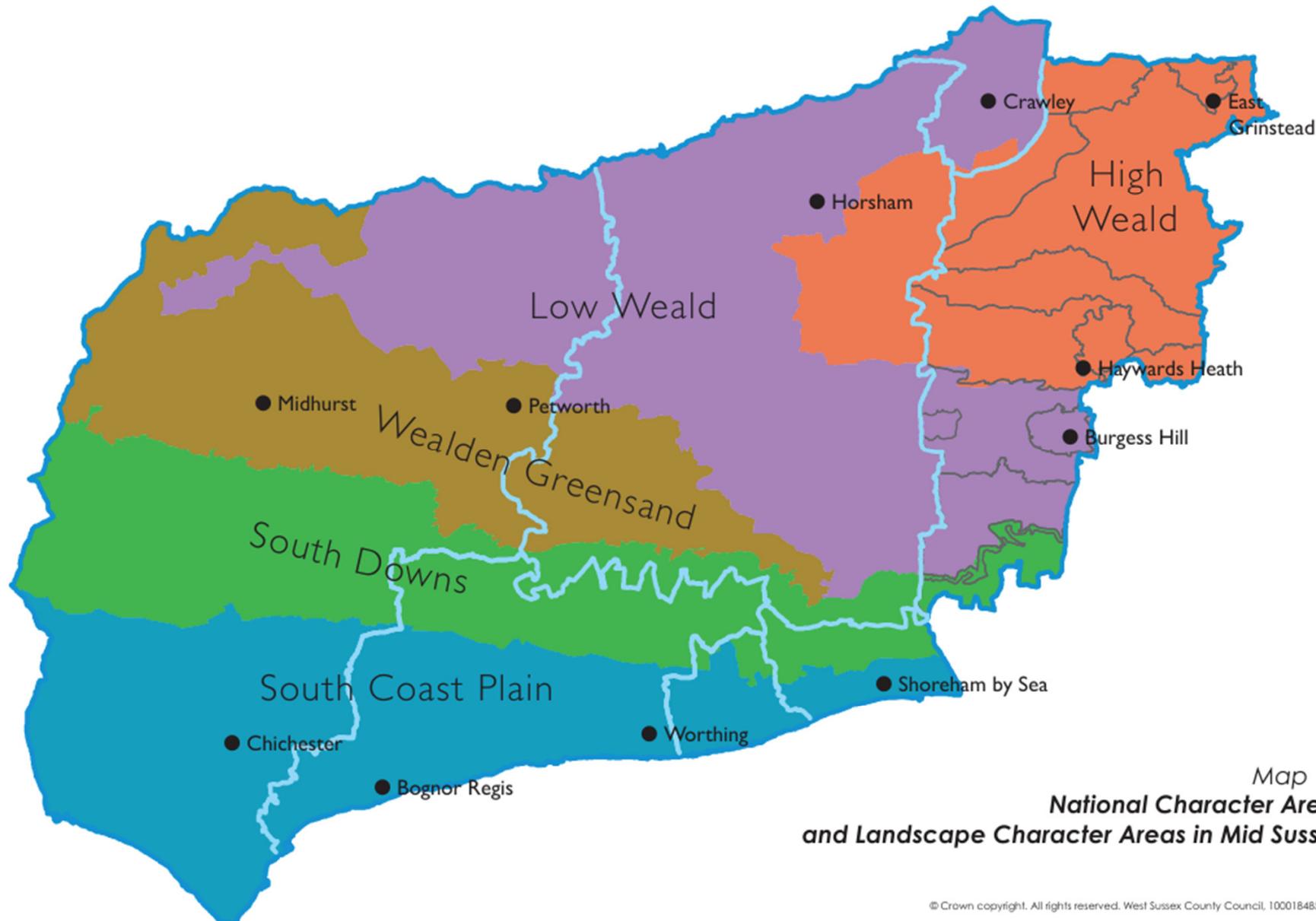


Figure 07: Open spaces and public rights of way Map (extract from Crawley Down Neighbourhood Plan)



Map 1.1  
**National Character Areas  
and Landscape Character Areas in Mid Sussex**

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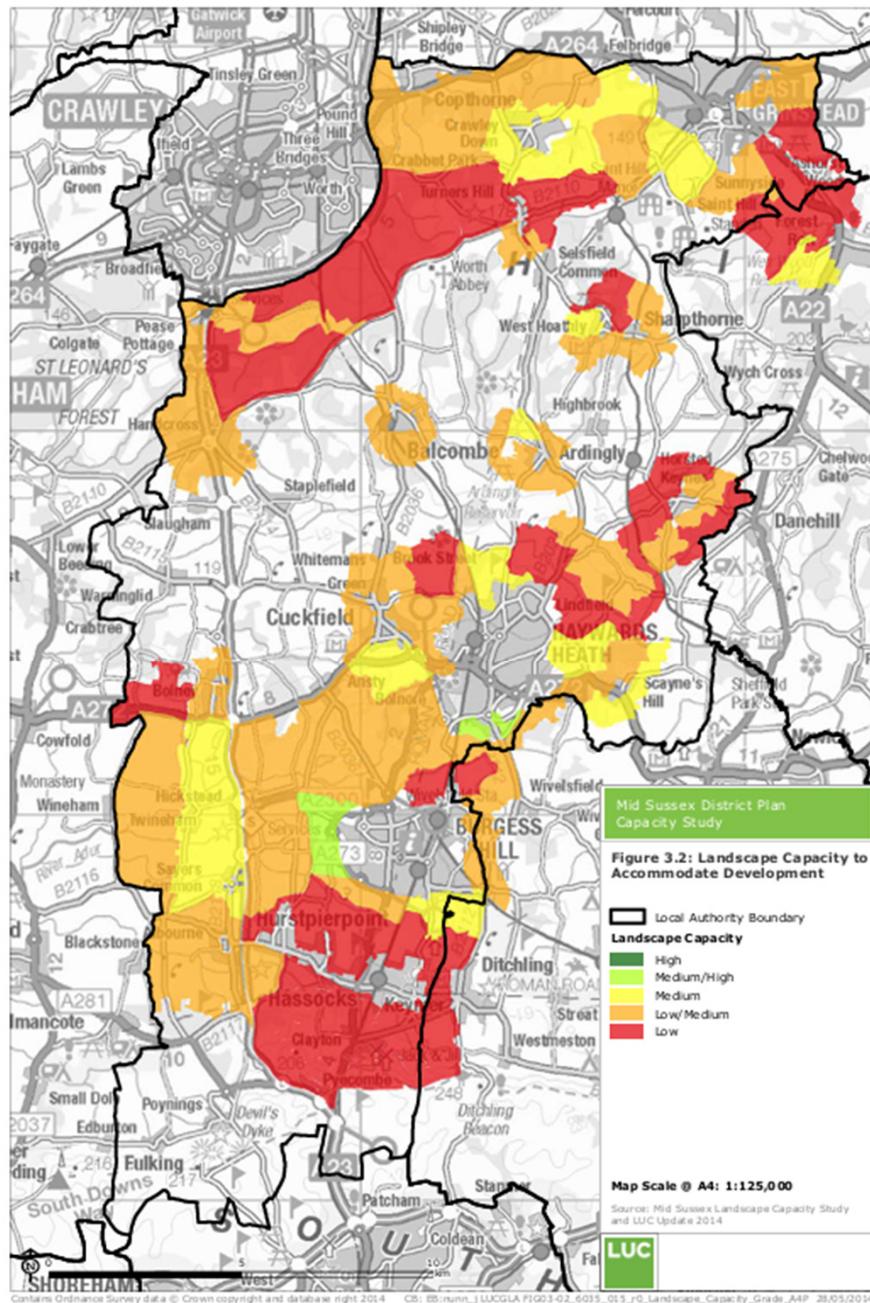


Figure 09: LUC Landscape capacity study